



**ASSET
EVALUATION
SERVICES,LLC**



CONSTRUCTION MONITORING AGREEMENT

Asset Evaluation Services, LLC ("AES") appreciates your use of the AES Pay Application System ("System"). **James Lancaster** as Borrower, **Test Builder** as Contractor, and **Test Lender** as Lender (collectively, "Users") agree to the terms of this Construction Monitoring Agreement and agree to work with one another in relation to secure and timely funding of construction activities at the following address: **TEST-6915 General Diaz-TEST, New Orleans, Louisiana 70124** ("Project"). As Users, you further agree that the monitoring of the Project will be accomplished pursuant to the draw schedule set forth in the AES Pay Application System ("Draw Schedule").

Users further agree that the information contained in this Project Review is an accurate representation of the proposed project. By executing this Construction Monitoring Agreement, Users acknowledge, agree, and understand that the presented budget for this project is **\$400,000.00**. AES will only facilitate the processing of Pay Applications pursuant to the Draw Schedule amounts presented.

Users agree that any changes made to this project after the execution of this document will invalidate all agreements and conditions of any perceived or existing relationship between the Users and AES.

If any User identifies information in the presented Project Review that is not accurate please notify AES immediately via email at aes@aesrequest.com. Please include the Project # and subject address.

AES will assist in correcting any and all discrepancies and will resubmit the Project Review for review and acceptance by all Users.

Borrower
James Lancaster

DocuSigned by:

James Lancaster

8AD12580755B4E2...

jameswlancaste.r@gmail.com
985-974-8792

Builder
Test Builder

DocuSigned by:

Test Builder

0CF9811DD23E4B2...

Bo.oray67@gmail.com
5047231552

Commercial Lender
Test Lender

DocuSigned by:

Test lender

6BA475D4CCFB462...

AES
B.ooray67@gmail.com
(504)723-1552

Mortgage Lender
Test Mortgage

DocuSigned by:

Test Mortgage

D13339C8430F4E5...

AES Mortgage
Boor.ay67@gmail.com
504-723-1552



Project Review Report

Date: 5/14/2019

Project # 21544

TEST-6915 General Diaz-TEST, New Orleans, 70124

This letter is presented to confirm that Asset Evaluation Services has reviewed all information Provided by AES regarding the above referenced project.

AES would recommend that the borrower is notified of the following. That all change orders and cost overruns that exceed the presented budget of **\$400,000.00**. Will be the sole responsibility of the borrower.

The subject of this report is the new construction of a single-family residential structure.

All municipal permits and inspections should be submitted for review.

See attached supporting documentation and recommended draw schedule.

AES is familiar with the builder of record for this file.

Based on the information provided to AES, after proper permitting has been submitted for review, we see no reason at this time that this project should not proceed.

Please verify construction funds available: **\$400,000.00**.

AES reserves the right to adjust its position on this project at any time.

Please contact AES with any questions regarding this determination.

Your business is appreciated,

Asset Evaluation Services LLC
La# 882304
Broker La # 995685319-CORP
Direct: 504-462-1604
aes@aesrequest.com

Budget:	\$400,000.00
Requested:	\$0.00
Balance:	\$400,000.00
Percent Complete:	0%
Subject Address/Location	
TEST-6915 General Diaz-TEST New Orleans , 70124	
Client Contact Information	
James Lancaster 985-974-8792 jameslancaster.r@gmail.com	
Subject Property Data	
Project Type:	New Construction
Subject:	Single Family
Stories:	2
Total Units:	1
Bedrooms:	3
Bathrooms:	2.5
SqFt. Living:	2300
Lot Size:	50x100
Bank Information	
Bank:	AES
Officer:	Test Lender
Draw 1	
Total:	
Requested:	
Balance:	
Draw 2	
Total:	
Requested:	
Balance:	
Draw 3	
Total:	
Requested:	
Balance:	
Draw 4	
Total:	
Requested:	
Balance:	
Draw 5	
Total:	
Requested:	
Balance:	
Draw 6	
Total:	
Requested:	
Balance:	
Draw 7	
Total:	
Requested:	
Balance:	
Engagement Date	
05/14/2019 09:30 AM	

Pay Application # 0

Draw Items	Draw Funds	Draw 1	Draw 2	Draw 3	Draw 4	Draw 5	Draw 6	Draw 7	Available Funds	% Complete
Permitting	\$4,000.00								\$4,000.00	0 %
Plans/Engineering	\$8,000.00								\$8,000.00	0 %
Clearing/Grading/Demolition	\$4,000.00								\$4,000.00	0 %
Foundation System	\$60,000.00								\$60,000.00	0 %
Lumber Package	\$52,000.00								\$52,000.00	0 %
Framing Labor	\$36,000.00								\$36,000.00	0 %
Sheathing/Wrap	\$4,000.00								\$4,000.00	0 %
Roof Decking/Underlayment	\$4,000.00								\$4,000.00	0 %
Windows	\$8,000.00								\$8,000.00	0 %
Exterior Doors	\$4,000.00								\$4,000.00	0 %
Roofing Components	\$16,000.00								\$16,000.00	0 %
Plumbing Rough -In	\$24,000.00								\$24,000.00	0 %
Electrical Rough-In	\$24,000.00								\$24,000.00	0 %
HVAC (Air Conditioning)	\$24,000.00								\$24,000.00	0 %
Exterior Finishes	\$28,000.00								\$28,000.00	0 %
Insulation	\$4,000.00								\$4,000.00	0 %
Drywall	\$16,000.00								\$16,000.00	0 %
Mill-work (Interior Trim)	\$12,000.00								\$12,000.00	0 %
Interior Doors	\$4,000.00								\$4,000.00	0 %
Cabinets/Vanities	\$16,000.00								\$16,000.00	0 %
Plumbing Fixtures	\$4,000.00								\$4,000.00	0 %
Electrical Fixtures	\$4,000.00								\$4,000.00	0 %
HVAC Condenser Set	\$4,000.00								\$4,000.00	0 %
Flooring	\$12,000.00								\$12,000.00	0 %
Tile Work	\$8,000.00								\$8,000.00	0 %
Counter Tops Installed	\$4,000.00								\$4,000.00	0 %
Flat Work	\$12,000.00								\$12,000.00	0 %
Totals:	\$400,000.00								\$400,000.00	0 %

Comments	
AES will continue to monitor this project accordingly. Please contact AES with any questions regarding this report. Work in place at the time of this inspection is in line with the following draw recommendation: \$0.00	

Subject



Photographic Detail



PROPERTY LEFT



PROPERTY ACROSS



SURROUNDING AREA



SURROUNDING AREA

Photographic Detail



SURROUNDING AREA



SURROUNDING AREA



SURROUNDING AREA



SURROUNDING AREA

Photographic Detail



SURROUNDING AREA



REAR OF SITE



REAR OF SITE



REAR OF SITE



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

10/11/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Continental Brokers, Inc. 212 Key Drive Madison MS 39110	CONTACT NAME: G. Collier Simpson PHONE (A/C, No. Ext): (866)386-4136 x2245 FAX (A/C, No): (601)707-1044 E-MAIL ADDRESS: cs@continentalbrokers.biz														
INSURED Asset Evaluation Services LLC 6915 General Diaz St New Orleans LA 70124	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">INSURER(S) AFFORDING COVERAGE</th> <th style="text-align: center;">NAIC #</th> </tr> <tr> <td>INSURER A: Ohio Security Insurance Co.</td> <td>24082</td> </tr> <tr> <td>INSURER B: Hiscox US Broker</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: Ohio Security Insurance Co.	24082	INSURER B: Hiscox US Broker		INSURER C:		INSURER D:		INSURER E:		INSURER F:	
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INSURER C:															
INSURER D:															
INSURER E:															
INSURER F:															

COVERAGES**CERTIFICATE NUMBER:** CL16101101561**REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY			BLS57566722	9/26/2016	9/26/2017	EACH OCCURRENCE \$ 1,000,000
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:						MED EXP (Any one person) \$ 15,000
	<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC						PERSONAL & ADV INJURY \$ 1,000,000
	OTHER:						GENERAL AGGREGATE \$ 2,000,000
							PRODUCTS - COMP/OP AGG \$ 2,000,000
							Experience Mod Factor 1 \$
A	AUTOMOBILE LIABILITY			BAS57566722	9/26/2016	9/26/2017	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000
	<input type="checkbox"/> ANY AUTO						BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS						BODILY INJURY (Per accident) \$
	<input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS						PROPERTY DAMAGE (Per accident) \$
							Uninsured motorist combined \$ 500,000
	UMBRELLA LIAB						EACH OCCURRENCE \$
	EXCESS LIAB						AGGREGATE \$
	DED RETENTION \$						\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						PER STATUTE OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	Y/N					E.L. EACH ACCIDENT \$
	If yes, describe under DESCRIPTION OF OPERATIONS below		N/A				E.L. DISEASE - EA EMPLOYEE \$
							E.L. DISEASE - POLICY LIMIT \$
B	Professional Liability			MPL1714704.16	9/11/2016	9/11/2017	Aggregate Limit, \$1,000,000
	\$2500 retention			claims made			Each Claim Limit \$1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

G Collier Simpson/GCS

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CERTIFICATE OF REAL ESTATE ERRORS AND OMISSIONS INSURANCE

Insurance Company: Continental Casualty Company, a CNA insurance company (Continental)

Producer: Rice Insurance Services Company, LLC (RISC)

4211 Norbourne Boulevard, Louisville, Kentucky 40207-4048

Phone: (800) 637-7319 Fax: (502) 897-7174

Mailing Address:

AES REALTORS, LLC
AES REALTORS, LLC
6915 GENERAL DIAZ STREET
NEW ORLEANS, LA 70124

THIS CERTIFICATE OF INSURANCE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER OTHER THAN THOSE SET FORTH IN THE POLICY AND ANY ENDORSEMENTS ISSUED TO THE LICENSEE. THIS CERTIFICATE DOES NOT AMEND, EXTEND, OR ALTER THE COVERAGE AFFORDED BY THE INSURANCE POLICY REFERENCED HEREIN.

This is to certify that the following Licensee is insured, as stated below, through the group errors and omissions insurance policy issued to the Louisiana Real Estate Commission:

Insured: AES REALTORS, LLC

Real Estate License Number: B 995694507
(if applicable)

Policy Number: 17 EO 0015LA- / 00723843

Individual Policy Period: 01/01/2017 to 01/01/2018 *

Limits of Liability: \$100,000 per claim / \$300,000 aggregate**

Deductibles: Damage Deductible: \$1,000
Claim Expense Deductible: \$0

This policy is a claims-made-and-reported policy. It only applies to Claims that are made and reported during the Individual Policy Period or any applicable Extended Reporting Period. To protect the Insured's interest and preserve any available coverage, it is essential to report claims timely in accordance with the policy provisions.

You may obtain a copy of the group policy online at: www.risceo.com. You may also obtain copies of the group policy and any optional endorsements purchased by calling (800) 637-7319, ext.1.

Authorized Representative:

Date Generated:



5/3/2017

* If this policy is cancelled prior to the expiration date indicated, notice will be delivered in accordance with policy provisions.

**Limits of liability may have been reduced by payments on claims.

DISCLOSURE – IMPORTANT NOTICE TO THE INSURED LICENSEE

Regarding Your Real Estate Errors and Omissions Policy
 Administered by Rice Insurance Services Company, LLC
 • We put the **Experience** and **Options** in E&O programs •

THIS DISCLOSURE FORM IS NOT YOUR POLICY. IT DESCRIBES SOME OF THE MAJOR FEATURES OF THE CLAIMS-MADE-AND-REPORTED POLICY FORM. READ YOUR POLICY CAREFULLY TO DETERMINE RIGHTS, DUTIES, AND WHAT IS AND IS NOT COVERED. ONLY THE POLICY PROVISIONS DETERMINE THE SCOPE OF YOUR INSURANCE COVERAGE.

Rice Insurance Services Company, LLC (RISC) administers your real estate errors and omissions (E&O) insurance policy, which is issued by Continental Casualty Company (Continental), a CNA company. This policy is a claims-made-and-reported policy. It applies to Claims made and reported during the Individual Policy Period or any applicable Extended Reporting Period (see below). Additionally, the Claim must involve Professional Services that occurred after the Retroactive Date.

Nature of the Claims-Made-And-Reported Policy: Under a claims-made-and-reported policy, failure to report a Claim timely manner may jeopardize any coverage that would otherwise have been available. Therefore, it is essential to notify us in writing immediately of any Claim. Please note that orally informing RISC of a Claim is not adequate reporting and will not constitute notice of the Claim to Continental. Some Insureds may believe that a Claim is not made until a lawsuit is filed. That is not necessarily the case. We suggest you review the policy's definition of a Claim and note that even an email received by the Insured may meet the definition of a Claim in some instances.

How to Notify Continental of a Claim: Submit a completed Notice of Claim Form (available on our website at http://www.risceo.com/NOTICE_OF_CLAIM_FORM.pdf or by calling us at 1-800-637-7319, Ext. 2, and requesting one) by any of the following methods:

U.S. Mail Delivery:

RISC
 Claims Department
 Post Office Box 6709
 Louisville, Kentucky 40206-0709

Overnight Delivery:

RISC
 Claims Department
 4211 Norbourne Boulevard
 Louisville, Kentucky 40207-4048

Electronic Delivery:

Email: claims@risceo.com
 Fax: (502) 896-6343

Such written notice shall be submitted as soon as possible after the Claim is first made but in no event more than 90 days after the Insured becomes aware of such Claim. The written notice shall include the name of the Licensee and the time, place and details of the Claim.

What Is and Isn't Covered: Only the policy can provide the actual terms, coverages, amounts, conditions, and exclusions. We strongly recommend you read the entire policy, including the "Exclusions" section. You may obtain a copy of the policy on our website, www.risceo.com, or by calling us at (800) 637-7319, Ext. 1, and requesting one.

Important Information if You DO Renew Your Policy

Timely Renewal: The policy does not apply to Professional Services performed before your Retroactive Date. The Retroactive Date is the date you first obtained, and since which have continuously maintained, uninterrupted real estate E&O insurance. If there is a gap in coverage (in other words, a break between policy periods), there will be no coverage for Professional Services rendered before and through the last day of the gap, even if you had insurance at the time the services were provided and again when the Claim arises. Additionally, failure to maintain continuous E&O insurance may violate your state's licensing law and result in penalties and fines. Always renew timely to prevent a gap in coverage and avoid potential fines and penalties.

Important Information if You DO NOT Renew Your Policy

Extended Reporting Periods (also known as "Tail Coverage"): Many professional liability claims are not made until years after the subject transaction occurred. The policy may provide an Automatic Extended Reporting Period applicable to Claims first made and reported within 90 days after the effective date of cancellation or nonrenewal of the policy. In addition, if you do not renew coverage through our program next year, you may purchase an Optional Extended Reporting Period endorsement within 90 days after the effective date of cancellation or nonrenewal. This endorsement allows the policy to apply to Claims first made and reported during the Optional Extended Reporting Period. Carefully review your policy to determine the length of Optional Extended Reporting Periods available and whether an Automatic Extended Reporting Period applies.

RISC Rice Insurance Services Company, LLC
 P.O. Box 6709, Louisville, KY 40206-0709

Phone: (502) 897-1876 Toll Free: (800) 637-7319 Fax: (502) 897-7174 Website: www.risceo.com



State Licensing Board for Contractors

This is to Certify that:

ASSET EVALUATION SERVICES, LLC
6915 General Diaz Street
New Orleans, LA 70124

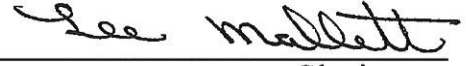
is duly licensed and entitled to practice the following classifications

RESIDENTIAL BUILDING CONTRACTOR



Witness our hand and seal of the Board dated,
Baton Rouge, LA 12th day of September 2015


Director

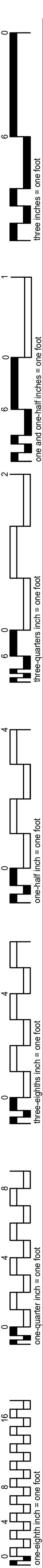

Chairman

Expiration Date: September 11, 2018

License No: 882304

This License Is Not Transferrable


Treasurer



GENERAL NOTES:

- The Contractor shall confirm and verify in writing (employ surveyor) that all property lines and setbacks are met prior to the start of construction.
- The Contractor shall coordinate and obtain all necessary permits and approvals from governing regulatory agencies. Construction work is not to begin until all required regulatory approvals have been issued.
- The Contractor shall not submit final price and execute contract with Owner until all required changes requested by the regulatory agencies have been included in the contract price.
- All materials and work shall be in accordance with applicable federal, state, and local building codes, amendments, rules, regulations, ordinances, laws, orders, and approvals that are required by public authorities having jurisdiction over the work. In the event of conflict, the most stringent requirements shall apply. No work shall be concealed until approved by local inspectors.
- It is the intent of the contract documents to provide for complete and finished work. Each trade (subcontractor) shall completely review plans for their respective work and related work by other trades (subcontractors). The Contractor shall coordinate and provide all miscellaneous components and parts which are not shown on the contract documents but are required to complete the work shown.
- The Contractor and subcontractors shall review and coordinate all architectural, electrical, and mechanical work to confirm that all components will achieve their intended use and will maintain ceiling heights shown. Conflicts shall be brought to the attention of the Architect prior to the start of construction. Verify that no conflicts between subcontractors exist and all required clearances for installation and maintenance of equipment are provided.
- Incidental work and components which are required as an essential, functional, or operational item or system, are required to complete any assembly and to complete full scope of work.
- All work illustrated in these contract documents indicates new construction unless otherwise indicated as existing to remain.
- The Contractor shall subcontract with suppliers, fabricators, and installation companies which can demonstrate that they possess the knowledge, experience, and proven capabilities to fully perform all aspects of work without omission.
- All products shall be installed in compliance with industry standards and as required by the product manufacturer's latest published specifications and installation requirements.
- Substitutions must be pre-approved in writing by Architect prior to the start of construction. Any work or material requirements of such substitution shall be coordinated (with all trades) and provided by the Contractor. Contractor must verify in writing all substitutions will not impact project cost or project schedule prior to request of such substitution. Substitutions shall be approved by regulatory agencies in writing prior to the start of construction.
- Before commencing work, the Contractor shall visit the site, accompanied by the Owner and Architect, and shall note the existing conditions affecting the work. The Contractor shall examine adjoining work for assurance that no conditions exist to prevent the completion of work. If Contractor observes field conditions that are different from the work shown in the contract documents, the Architect shall be notified immediately in writing so that action may be taken to accommodate the condition prior to beginning construction. Contractor assumes responsibility for any such work undertaken without notifying and receiving approval from the Architect.
- The Contractor shall be responsible for field verifying actual locations of all existing utilities and structures on the project site. Locations of existing utilities and structures indicated on the drawings are approximately only, and those indicated are not necessary all that may exist on the project site. The Contractor shall coordinate the location (horizontal and vertical) of the existing utilities (power, telephone, gas, water, sewer, etc.) with the appropriate utility company before construction begins.
- The Contractor shall be responsible for coordinating all utilities (including but not limited to electric, sewer and water tie-ins, connections and disconnections) with the appropriate utility provider at no additional cost to owner.
- All existing sanitary sewer manhole tops, water valve boxes, meters, storm sewers, or other related appurtenances shall be adjusted to finish grade by Contractor and no additional cost to owner.
- If, during construction, the Contractor uncovers unusual conditions that create a substantial complication which could not be foreseen at the outset of construction, the Owner, Architect, Contractor, and affected subcontractors shall meet to determine a fair and equitable solution as each issue occurs.
- Asbestos abatement, lead paint removal, and other hazardous material removal is not in the contract. Should the Contractor encounter the presence, or possible presence, of potentially hazardous materials, the Contractor shall notify the owner for instructions prior to continuing work.
- The Contractor shall protect all materials, construction, utilities and facilities from damage, including workers, theft & weather. Damaged components shall be replaced at no cost to Owner.
- The Contractor shall install and provide all safety barriers during construction to protect the public from injury and access to the building and site.
- At all times, the contractor shall be solely and completely responsible for the conditions of the job site, including the safety of persons and property, and for all necessary independent reviews of these conditions. The Architect's, Engineer's, or Owner's job site review is not intended to review the adequacy of the Contractor's safety measures.
- Building shall be maintained in weatherproof & secure condition throughout work.
- All pipe chase walls shall be constructed to completely conceal and enclose pipes with full thickness of gypsum board on each side of wall.
- Fire rated assemblies shall be constructed in compliance with published UL Certifications Directory Listings and Classifications. Joints occurring in fire rated assemblies (walls and ceilings) shall be staggered both horizontally and vertically.
- Erect and install all work level, plumb, square, true, straight, and in proper alignment.
- When project is complete, clean and polish glass, hardware, and other such items with factory finishes. Remove all dust with treated dust cloths or vacuum cleaners. Waste and refuse caused by the work shall be removed from premises and disposed of by Contractor. Clean site at end of project. Remove dust, debris, oils, stains, fingerprints, and labels from exposed surfaces, including glazing.
- All existing sanitary sewer manhole tops, water valve boxes, meters, storm sewers, or other related appurtenances shall be adjusted to finish grade by contractor at no additional cost to owner.

Site

ARCHITECT:

Albert Architecture & Urban Design apllc
3221 Tulane Avenue
New Orleans . LA 70119
504 . 827 . 0056
albert@albert-architecture.com

OWNER / CONTRACTOR:

I Am New Orleans, LLC
Penny Pounds
6915 General Diaz Street
New Orleans, LA 70124
Penny@iamneworleans.com

STRUCTURAL ENGINEER:

Grieshaber Consulting LLC
John Grieshaber PhD., P.E
4600 Lake Villa Drive
Metairie, LA 70002
john.grieshaber@gmail.com

Pablovich Residence

6915 General Diaz Street
New Orleans, LA 70124

DRAWING INDEX:

A-0.0	Cover Sheet
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A-1.4	Roof Plan
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A-3.0	Sections
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A-4.3	Second Floor Reflected Ceiling Plan
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S-1.2	First Floor Framing Plan
S-1.3	Second Floor Framing Plan
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PROJECT INFORMATION:

Project Description:		The project is a new construction of a single-family home.	
Design Criteria:		International residential building code (IRC) 2015 Edition design wind speed- 130 MPH exposure category "B" Framing and fasteners shall comply with American Forest and Paper Association (AF & PA) Wood Frame Construction manual for one- and two-family dwellings (WFCM).	
Building Code Requirements:		2015 International Residential Code	
		Building Area: (measured around perimeter from inside face of exterior walls)	
Zoning District:	S-LRS1	Garage	554 SF
Address:	6915 General Diaz Street	First Floor:	2,629 SF
Square:	68	Second Floor	373 SF
Lot:	18,19,20	Porches:	775 SF
Lot Area:	9,150 SF	Total:	4,331 SF
Construction Type:	Type: V-B		
Building Height:	29'-3"	Front Setback:	1,505 SF
Number of Stories:	2	Impermeable Surface in Front Setback:	19%

PRELIMINARY
NOT FOR
CONSTRUCTION

ALBERT
ARCHITECTURE
& URBAN DESIGN apllc

3221 Tulane Avenue
New Orleans . LA . 70119
504 . 827 . 0056

Pablovich Residence
6915 General Diaz Street
New Orleans, LA

This drawing is copyrighted and is the sole property of, Albert Architecture and Urban Design apllc. Any use or reproduction of this drawing or the information contained here in without the written permission of Albert Architecture & Urban Design apllc is prohibited, all rights reserved.

PROJECT NO:	AA1747
DRAWN BY:	LLLR
CHECKED BY:	RA
02.02.18	Schematic Design
04.11.18	Design Drawings

TITLE:

Cover Sheet

SHEET:

A-0.0

0 6 1 0 6 2 0 6 4 0 4 0 8 4 0 16 0 4 8 16

three inches = one foot

one and one-half inches = one foot

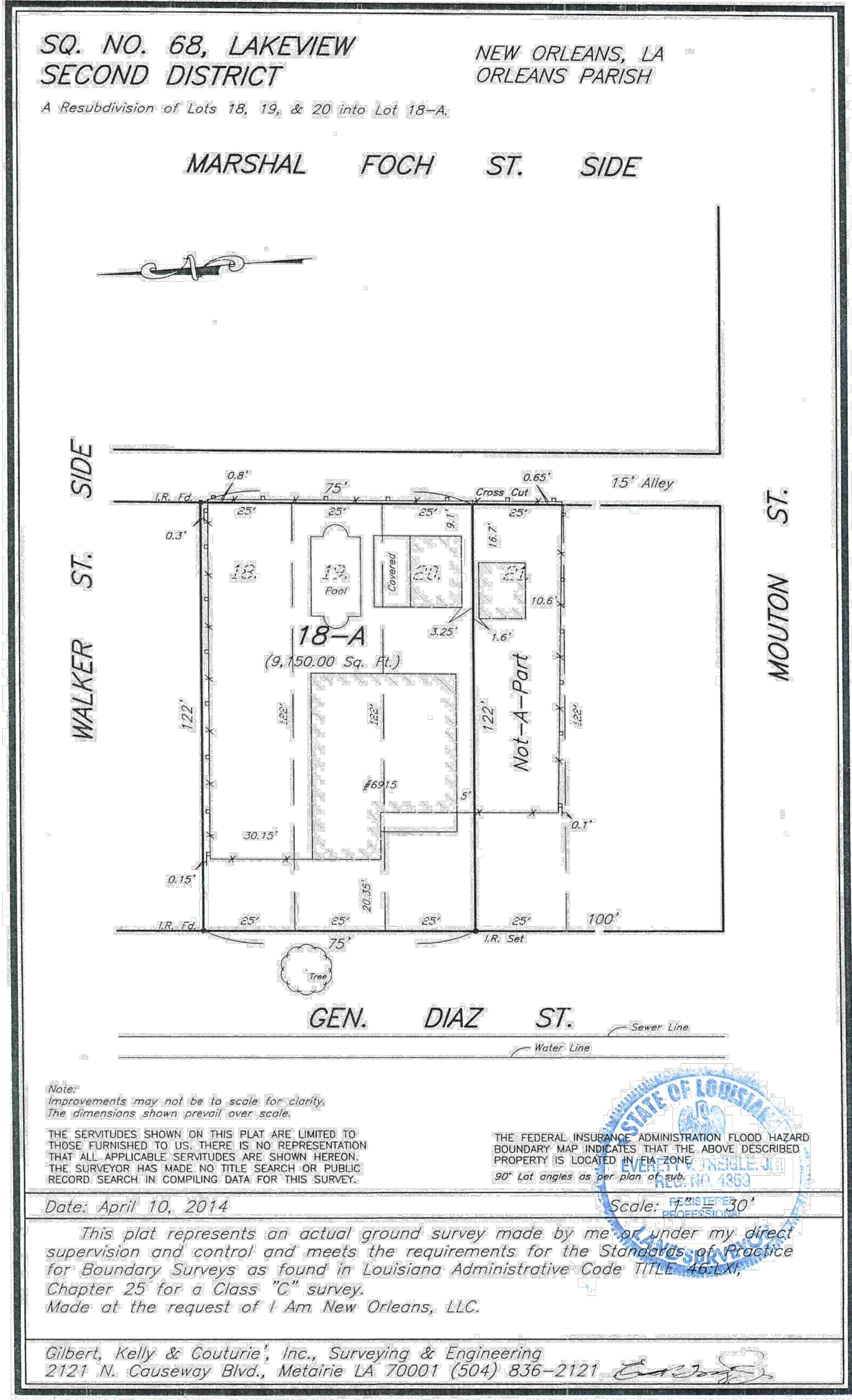
three-quarters inch = one foot

one-half inch = one foot

three-eighths inch = one foot

one-quarter inch = one foot

one-eighth inch = one foot

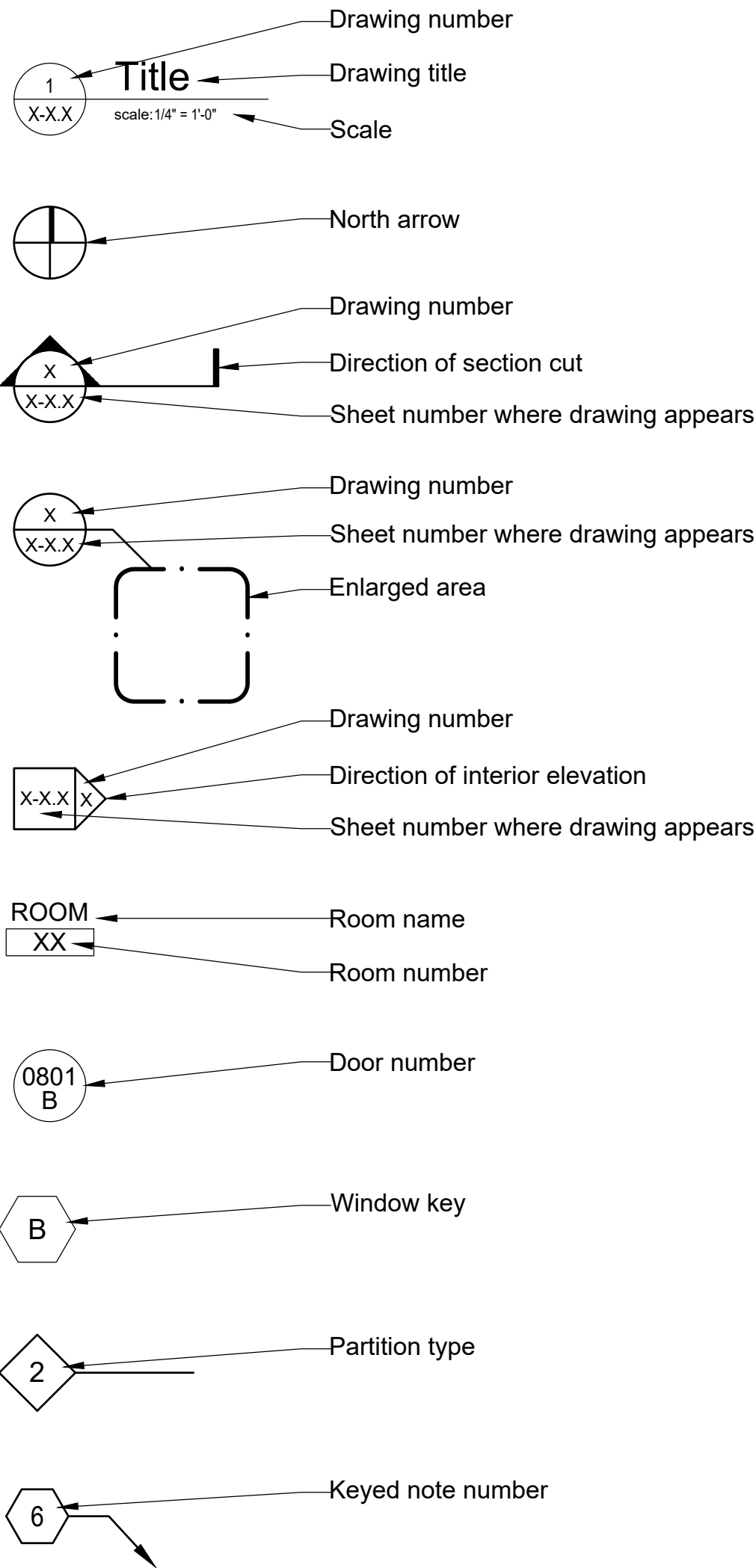


1
A-0.1
Site Survey
scale:N.T.S.

ABBREVIATIONS:

A.F.F	Above Finish Floor	J.B.	Junction Box
A.F.G.	Above Finish Grade	JT	Joint
A/C	Air Conditioning	JSTS	Joists
AD	Area Drain		
ALUM	Aluminum	L	Limestone
APPROX	Approximately	LM	Laminated Veneer Lumber
ATTEN	Attenuation	LVL	
B.O	Bottom of	M.H.	Metal Threshold
BD.	Board	MANUF	Manufacturer
BATTS	Fiberglass Insulation	MAX	Maximum
BLDG.	Building	MAS	Masonry
BLK	Block	MB	Modified Bitumen
BOL	Bollard	MECH	Mechanical
BOT	Bottom	MIN	Minimum
		MTL	Metal
C.B.	Catch Basin	N	Not in Contract
C.J.	Control Joint	N.I.C.	Not in Contract
C.I.P	Cast-in-place	NOM	Nominal
C.M.U.	Concrete Masonry Unit	NTS	Not to Scale
C.O.	Clean Out		
C.G.	Cold Rolled	O	On Center
CLG.	Ceiling	O.C.	Overhang
CLO.	Closet	O.H.	Opening
COL	Column	OPG	
CONC.	Concrete		
CONSTR.	Construction	P	Plaster
CONT.	Continuous	PLAS	Plywood
		PLYWD	Paint
D	Diffuser	PNT	Pressure Treated
DBL	Double	P.T.	
DEMO	Demolition		
DET	Detail	Q.T.	Quarry Tile
DF	Douglas Fir		
DIA.	Diameter		
DIAG	Diagonal	R.A.	Return Air
DIM	Dimension	R.D.	Roof Drain
DISP	Dispenser	R.O.	Rough Opening
DIV	Divided	RAD	Radius
DN	Down	RE	Reference
DWGS	Drawings	REC	Recessed
		REINF	Reinforced
E.J.	Expansion Joint	REQ'D	Required
E.W.	Each Way	RET	Retaining
EA	Each	RM	Room
EL	Elevation	RREG	Register
ELECT	Electrical	RT	Roof Truss
EPS	Extruded Polystyrene		
EPDM	Ethylene Propylene Diene Monomer	S	Supply Air
EQ	Equal	S	Sealant
EQUIP	Equipment	SBW	Stud Bearing Wall
EXIST	Existing	SCHED	Schedule
EXP	Expansion	SECT	Section
EXT	Exterior	SH	Shutter
		SIM	Similar
F.D.	Floor Drain	SL	Slope
F.H.	Flat Head	SPEC	Specification
F.O.	Face of	SQ	Square
F.R.	Fire Resistance	STC	Sound Transmission Class
FDN	Foundation	STD	Standard
FIN	Finish	STL	Steel
FLR	Floor	STRUCT	Structural
FRM	Frame	SUSP	Suspended
FRP	Fiberglass Reinforced Panel		
FT	Foot	T	Top and Bottom
		T&B	Tongue and Groove
G.I.	Galvanized Iron	T&G	Top of
GA	Gauge	T.O.	Through
GALV	Galvanized	THRU	Engineered Truss Joist
GEN	General	TJI	Treated
GYP	Gypsum	TRD	Typical
GYP BD	Gypsum Board	TYP	
H	Hollow Metal	U	Unless Otherwise Noted
H.M.	Header		
H.R.	Header	V	Vertical
HDR	Hardwood	VERT	Verify in Field
HRDWD	Horizontal	V.I.F	
HORZ	Height		
HT	Heavy	W	With
HVY		W	Wide Flange
		W.F.	Waterproof
I.D.	Inside Dimension	W.P.	Wood
IN	Inch	WD	
INSUL	Insulation	@	At
INT	Interior	&	And
INV	Invert		

SYMBOL LEGEND:



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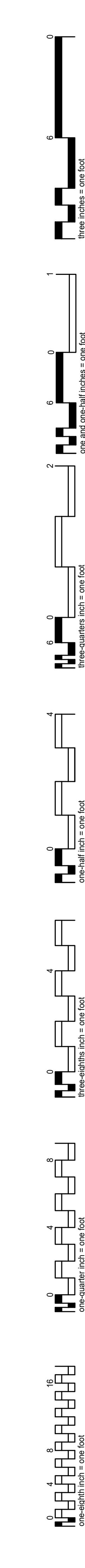
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DRAWN BY:	LLLR
CHECKED BY:	RA
02.02.18	Schematic Design
04.11.18	Design Drawings

TITLE:
**Abbreviations,
Symbol Legend,
& Site Survey**

SHEET:
A-0.1



- GENERAL PLAN NOTES:**
- All dimensions are to face of framing unless otherwise noted.
 - Verify locations of all plumbing vents & exhausts with Architect prior to construction.
 - Provide precut plywood to protect window openings in accordance with R301.2.1.2 IRC 2015. Store on site.

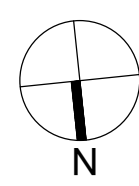
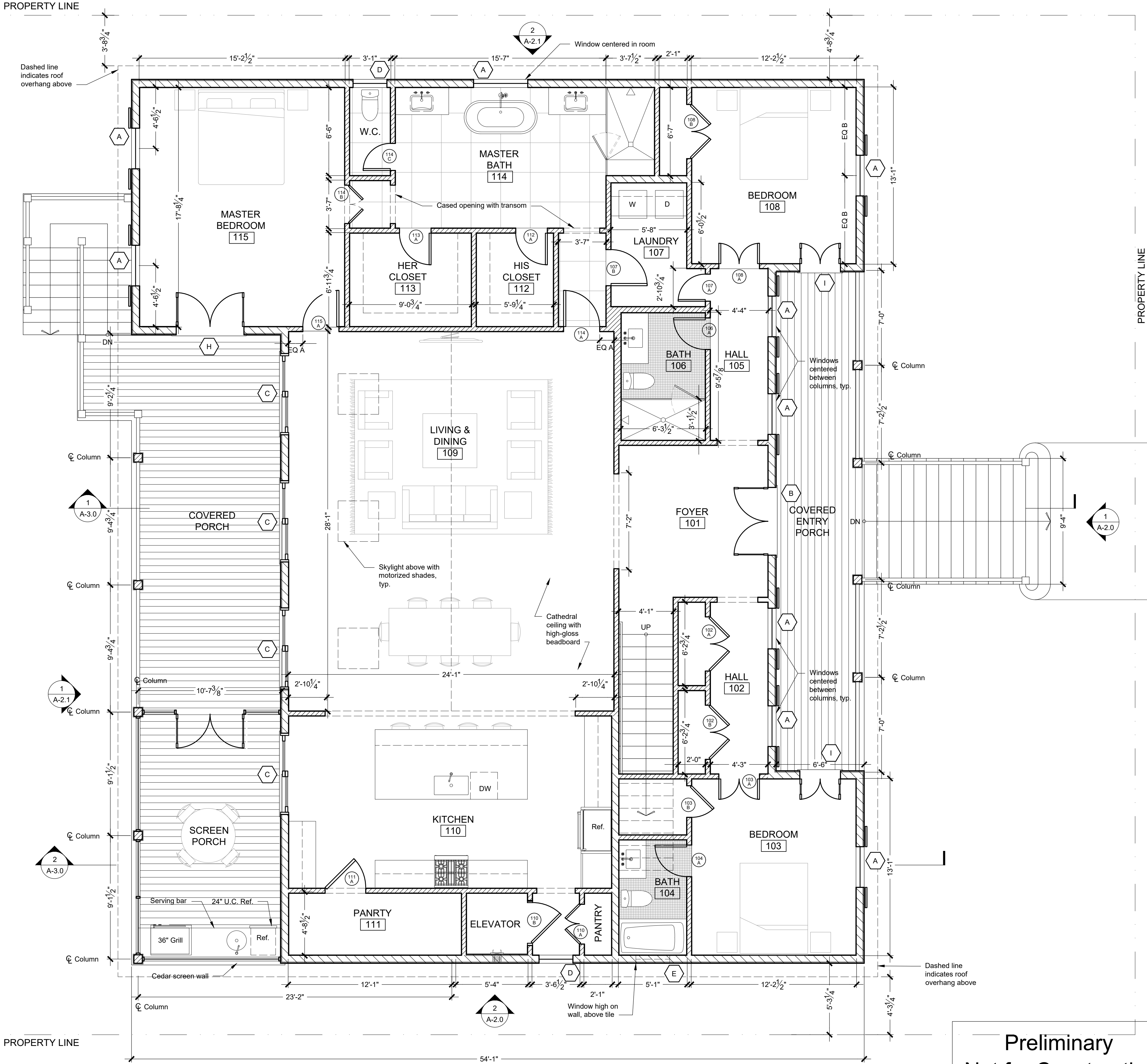
- WALL KEY:**
- 2x4 stud wall
 - 2x6 stud wall

FIRST FLOOR FINISH SCHEDULE:					
ROOM NUMBER	NAME	FLOOR	BASE	CEILING	WALLS
101	Foyer	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint
102	Hall	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint
103	Bedroom	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint
104	Bath	Tile	Wood - painted	Moisture Resistant Gypsum Board w/ Paint - w/ all the wairstot & full height in showers	Moisture Resistant Gypsum Board w/ Paint
105	Hall	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint
106	Bath	Tile	Wood - painted	Moisture Resistant Gypsum Board w/ Paint - w/ all the wairstot & full height in showers	Moisture Resistant Gypsum Board w/ Paint
107	Laundry	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint
108	Bedroom	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint
109	Living & Dining	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint
110	Kitchen	Tile	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint
111	Pantry	Tile	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint
112	His Closet	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint
113	Her Closet	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint
114	Master Bath	Tile	Wood - painted	Moisture Resistant Gypsum Board w/ Paint - w/ all the wairstot & full height in showers	Moisture Resistant Gypsum Board w/ Paint
115	Master Bedroom	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint

PROPERTY LINE

Dashed line indicates roof overhang above

PROPERTY LINE



1
A-1.2

First Floor Plan

scale: 1/4" = 1'-0"

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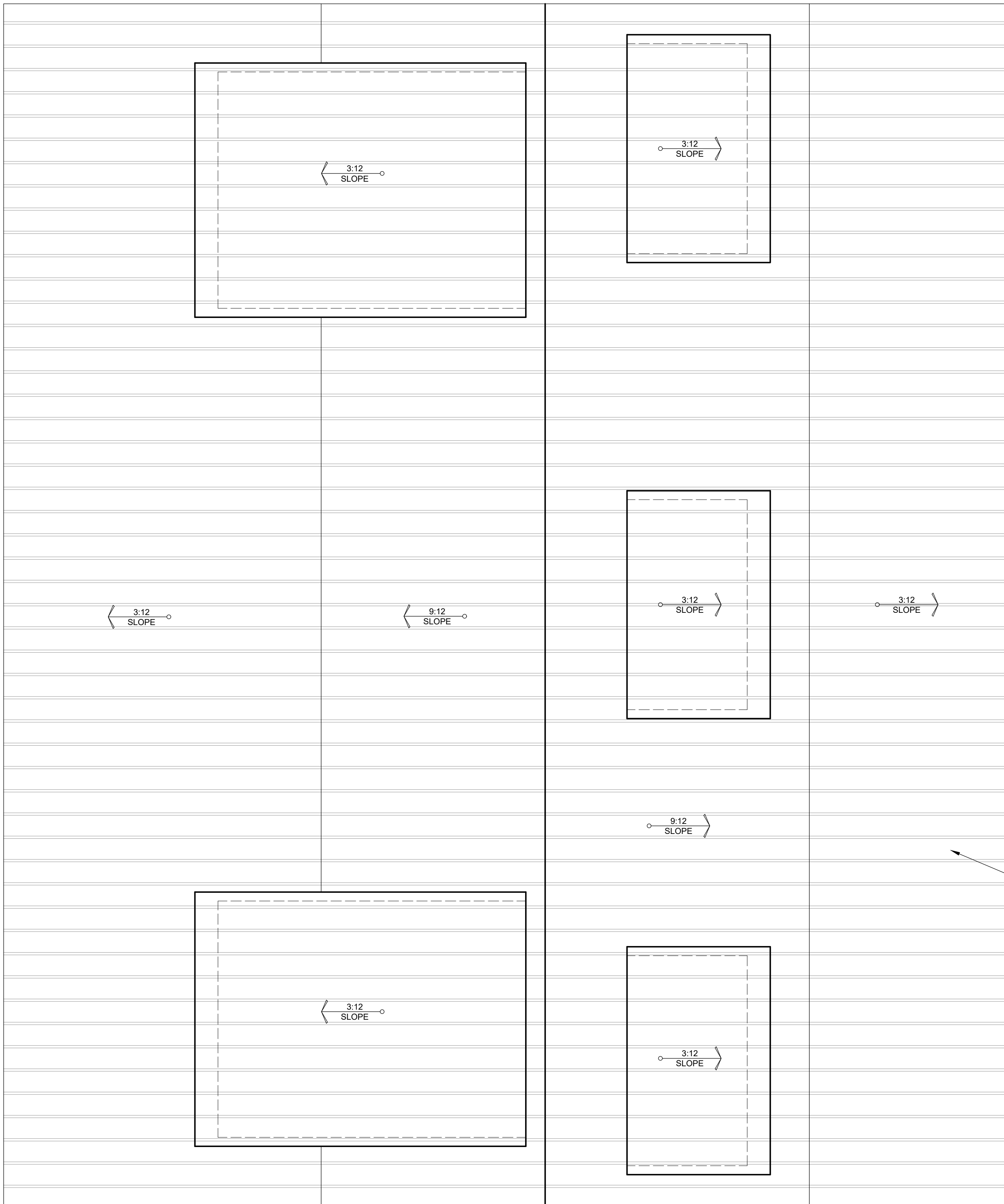
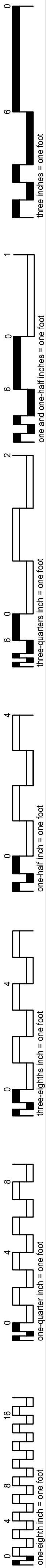
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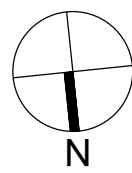
PROJECT NO. AA1747
DRAWN BY: LLLR
CHECKED BY: RA
02.02.18 Schematic Design
04.11.18 Design Drawings

TITLE:
First Floor Plan

SHEET:
A-1.2



- Standing seam metal roof



Roof Plan

scale: 1/4" = 1'-0"

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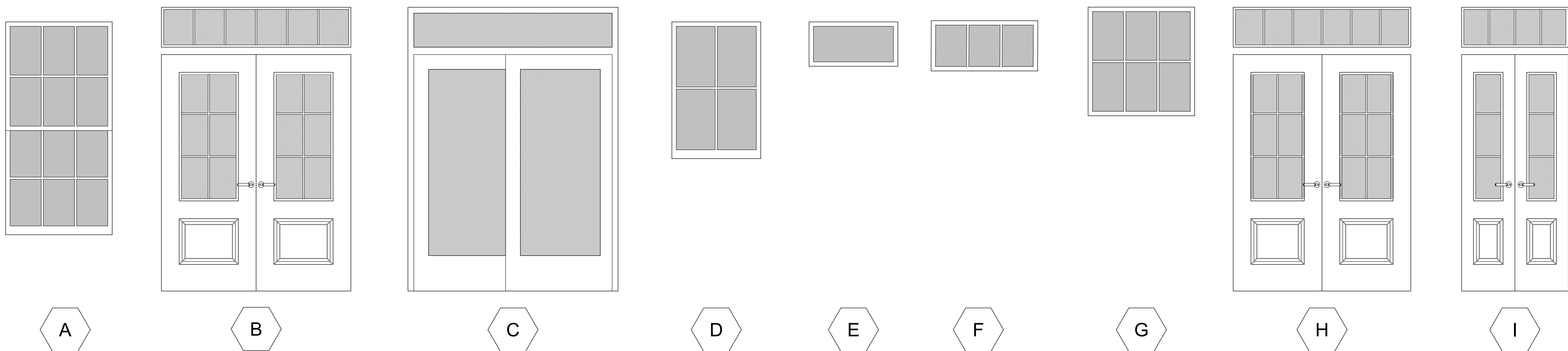
TITLE:

Roof Plan

SHEET:

A-1.4

EXTERIOR DOOR & WINDOW ELEVATIONS:



GENERAL WINDOW NOTES:

1. Contractor to verify all bedrooms have at least (1) unit that meets egress requirements.
2. Provide safety glass where required by code, typical.
3. Provide precut plywood to protect window openings in accordance with R301.2.1.2 IRC 2015 ed. Store on site.

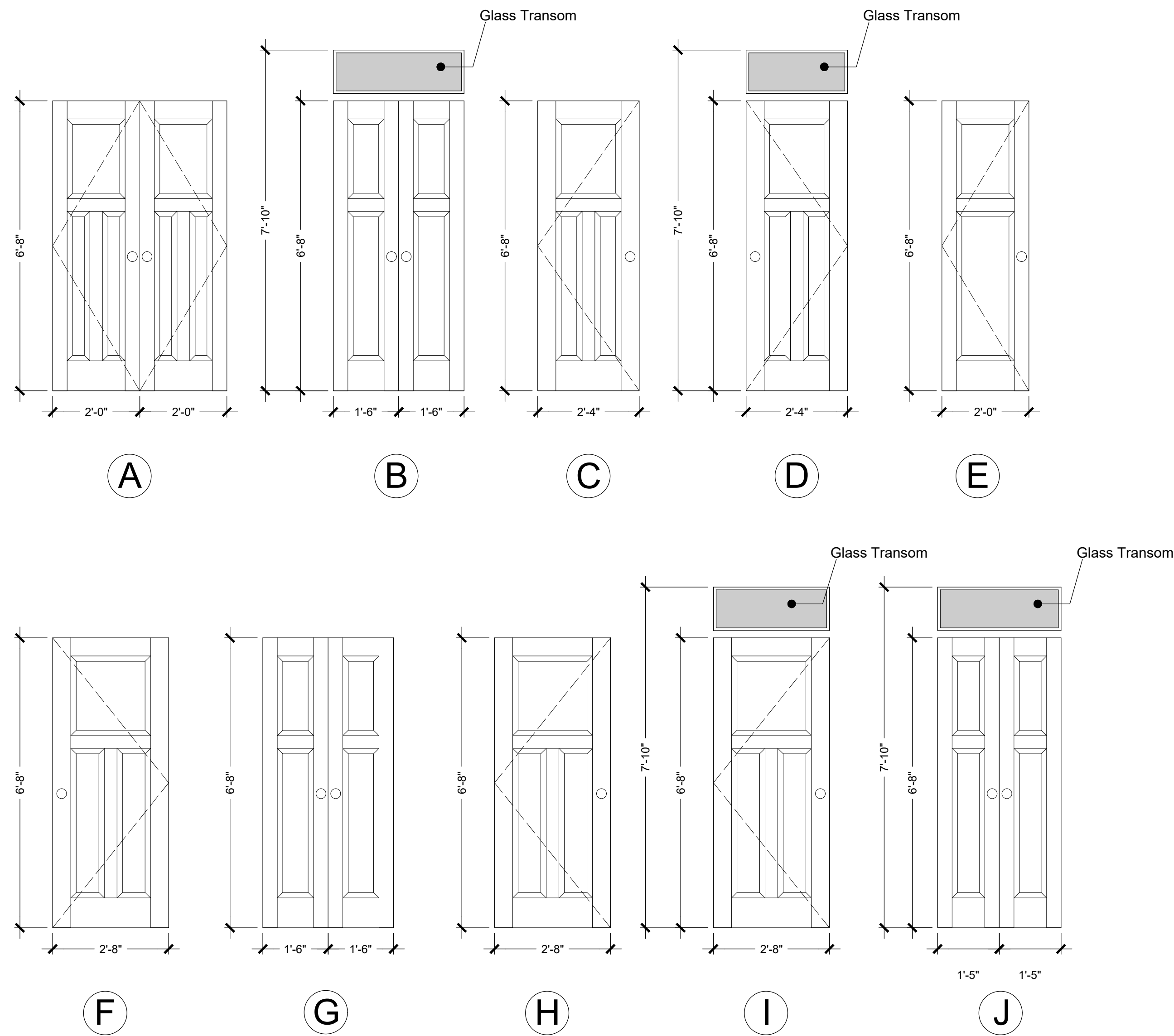
WINDOW & DOOR SCHEDULE:

Door - Window					NOTES	
MARK	TYPE	Size				Matl
		W	HT	THK		
A	Single Hung	3'-0"	6'-0"	-	Vinyl	
B	Door w/ Transom	5'-4" (pair)	6'-8"	-	Wood	French pair
C	Sliding Door w/ Transom	6'-0"	6'-8"		Fiber glass	
D	Fixed	2'-6"	3'-10"	-	Vinyl	
E	Fixed	2'-6"	1'-2"	-	Wood	
F	Single Hung	3'-0"	1'-5"		Vinyl	VIF sill height to not conflict with wall tile
G	Single Hung	3'-0"	3'-0"		Vinyl	
H	Door w/ Transom	5'-0" (pair)	6'-8"	-	Wood	French pair
I	Door w/ Transom	3'-0" (pair)	6'-8"	-	Wood	French pair

INTERIOR DOOR SCHEDULE:

DOOR								TYPE
MARK	ELEVATION	SWING	SIZE			R.O.	Matl	
			W	HT	THK			
102A	A	-	4'-0" (Pair)	6'-8"	1 ³ / ₈ "	6'-10"	MDF	Flat Panel with Bevel Sticking
102B	A	-	4'-0" (Pair)	6'-8"	1 ³ / ₈ "	6'-10"	MDF	Flat Panel with Bevel Sticking
103A	B	-	3'-0" (Pair)	6'-8"	1 ³ / ₈ "	8'-0"	MDF	Flat Panel with Bevel Sticking with Glass Transom
103B	C	LH	2'-4"	6'-8"	1 ³ / ₈ "	6'-10"	MDF	Flat Panel with Bevel Sticking
104A	D	RH	2'-4"	6'-8"	1 ³ / ₈ "	8'-0"	MDF	Flat Panel with Bevel Sticking with Glass Transom
106A	D	RH	2'-4"	6'-8"	1 ³ / ₈ "	8'-0"	MDF	Flat Panel with Bevel Sticking with Glass Transom
107A	E	LH	2'-0"	6'-8"	1 ³ / ₈ "	6'-10"	MDF	Flat Panel with Bevel Sticking
107B	F	RH	2'-8"	6'-8"	1 ³ / ₈ "	6'-10"	MDF	Flat Panel with Bevel Sticking
108A	B	-	3'-0" (pair)	6'-8"	1 ³ / ₈ "	8'-0"	MDF	Flat Panel with Bevel Sticking with Glass Transom
108B	A	-	4'-0" (pair)	6'-8"	1 ³ / ₈ "	6'-10"	MDF	Flat Panel with Bevel Sticking
110A	G	-	3'-0" (pair)	6'-8"	1 ³ / ₈ "	6'-10"	MDF	Flat Panel with Bevel Sticking
110B	F	RH	3'-0"	6'-8"	1 ³ / ₈ "	6'-10"	MDF	Flat Panel with Bevel Sticking
111A	H	LH	3'-0"	6'-8"	1 ³ / ₈ "	6'-10"	MDF	Flat Panel with Bevel Sticking
112A	C	LH	2'-4"	6'-8"	1 ³ / ₈ "	6'-10"	MDF	Flat Panel with Bevel Sticking
113A	C	LH	2'-4"	6'-8"	1 ³ / ₈ "	6'-10"	MDF	Flat Panel with Bevel Sticking
114A	I	LH	2'-8"	6'-8"	1 ³ / ₈ "	8'-0"	MDF	Flat Panel with Bevel Sticking with Glass Transom
114B	J	-	2'-10" (pair)	6'-8"	1 ³ / ₈ "	8'-0"	MDF	Flat Panel with Bevel Sticking with Glass Transom
114C	E	LH	2'-0"	6'-8"	1 ³ / ₈ "	6'-10"	MDF	Flat Panel with Bevel Sticking
115A	F	RH	2'-8"	6'-8"	1 ³ / ₈ "	6'-10"	MDF	Flat Panel with Bevel Sticking

INTERIOR DOORS:



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[illegible]

TITLE:

Door & Window Schedules

SHEET:

A-1.5



1
A-2.0
Exterior Elevation - East (Front)
scale: 1/4" = 1'-0"



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2
A-2.0
Exterior Elevation - North
scale: 1/4" = 1'-0"

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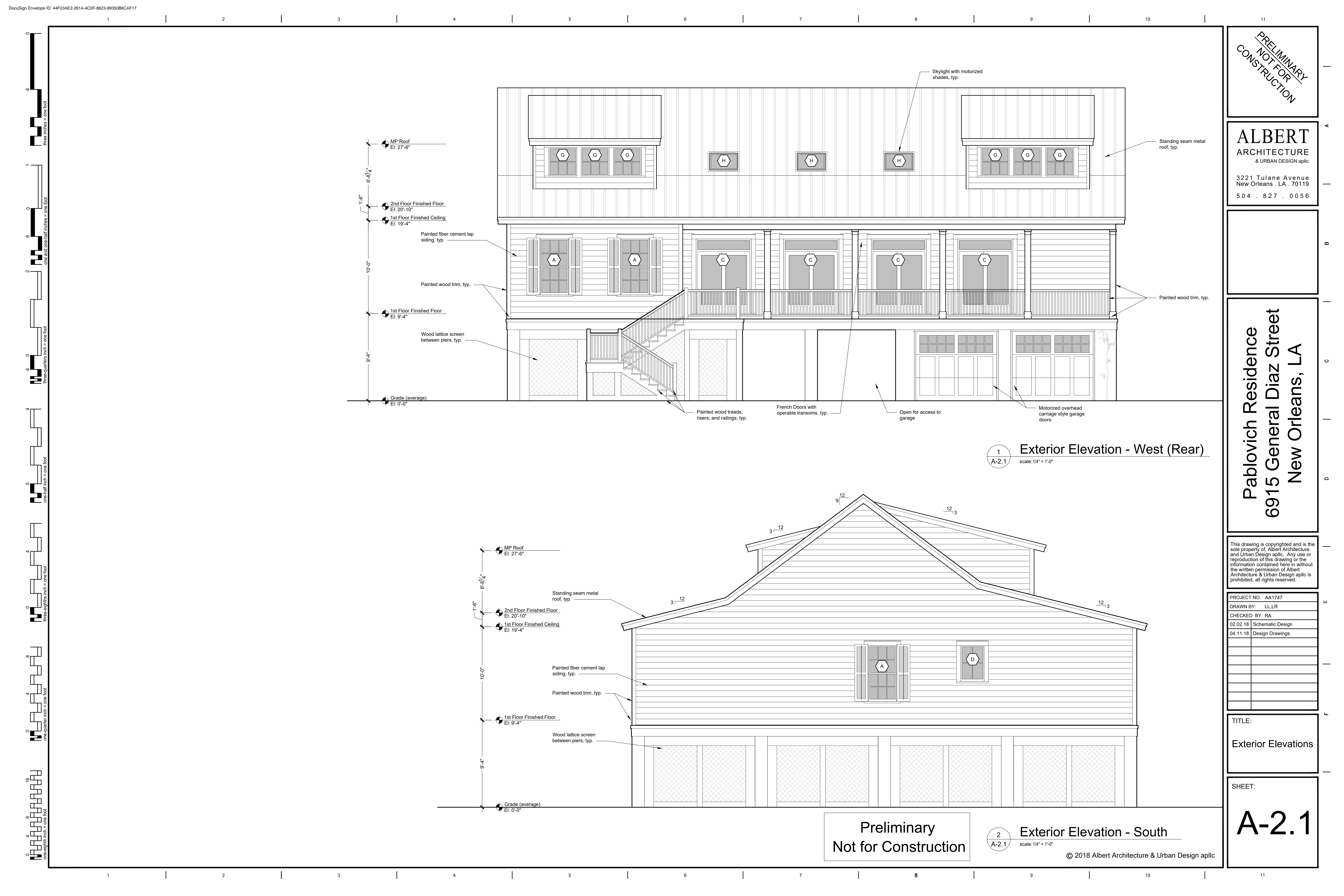
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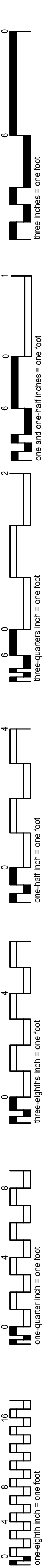
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02.02.18	Schematic Design
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TITLE:
Exterior Elevations

SHEET:
A-2.0





1

2

3

4

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11

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TITLE:
Building Sections

SHEET:
A-3.0

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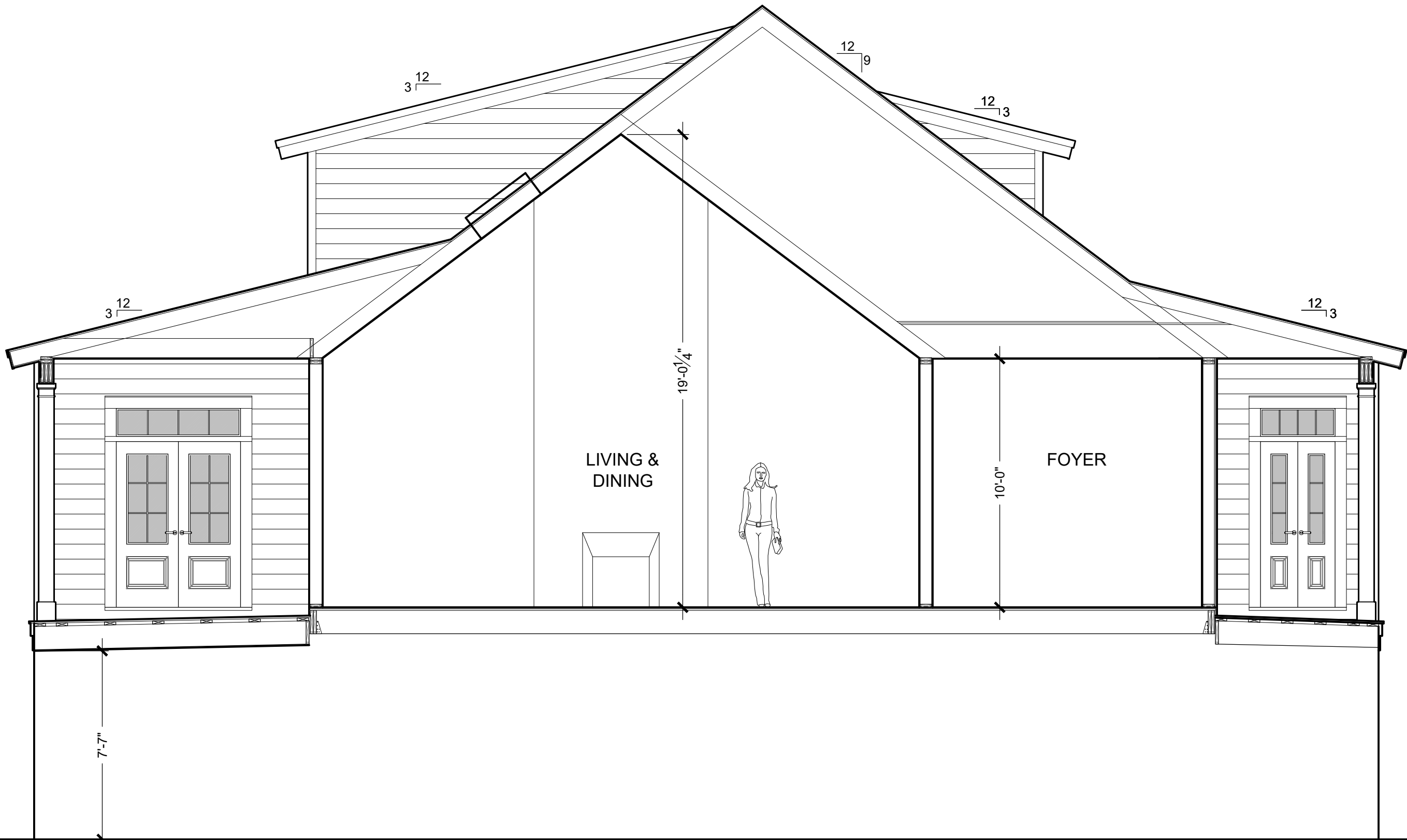
MP Roof
El: 27'-6"

2nd Floor Finished Floor
El: 20'-10"

1st Floor Finished Ceiling
El: 19'-4"

1st Floor Finished Floor
El: 9'-4"

Grade (average)
El: 0'-0"



1
A-3.0 Building Section
scale: 1/4" = 1'-0"

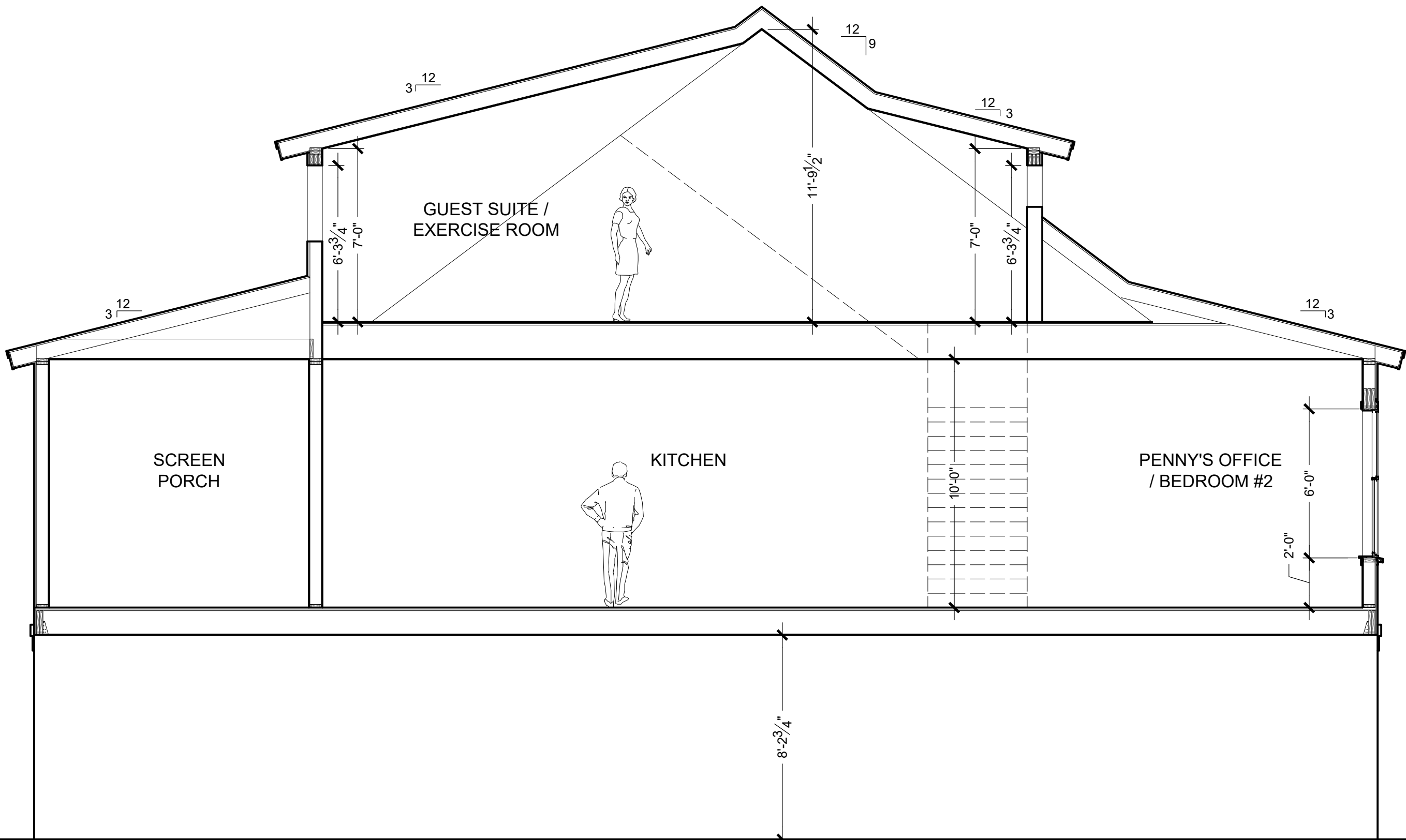
MP Roof
El: 27'-6"

2nd Floor Finished Floor
El: 20'-10"

1st Floor Finished Ceiling
El: 19'-4"

1st Floor Finished Floor
El: 9'-4"

Grade (average)
El: 0'-0"



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1
A-3.0 Building Section
scale: 1/4" = 1'-0"



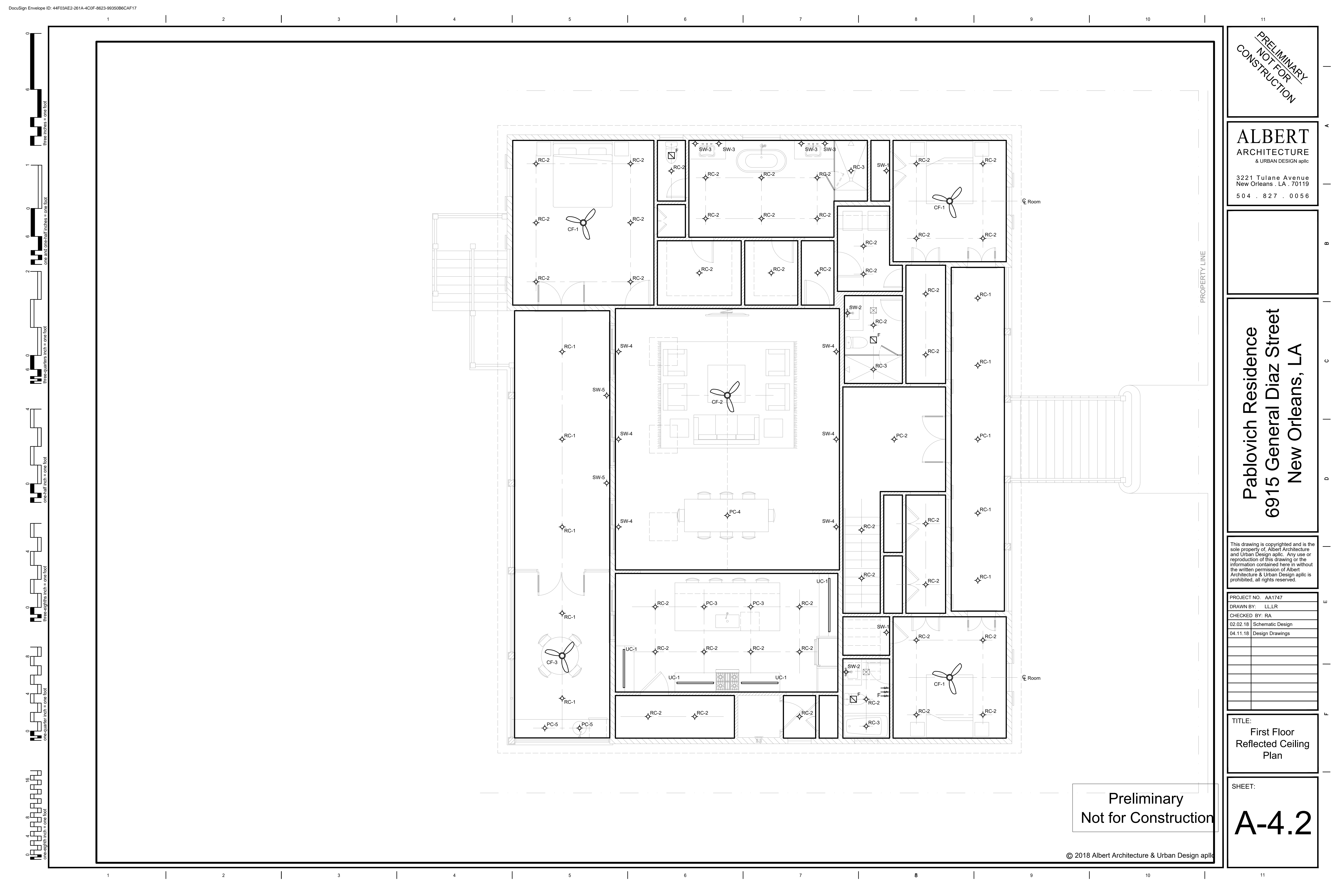
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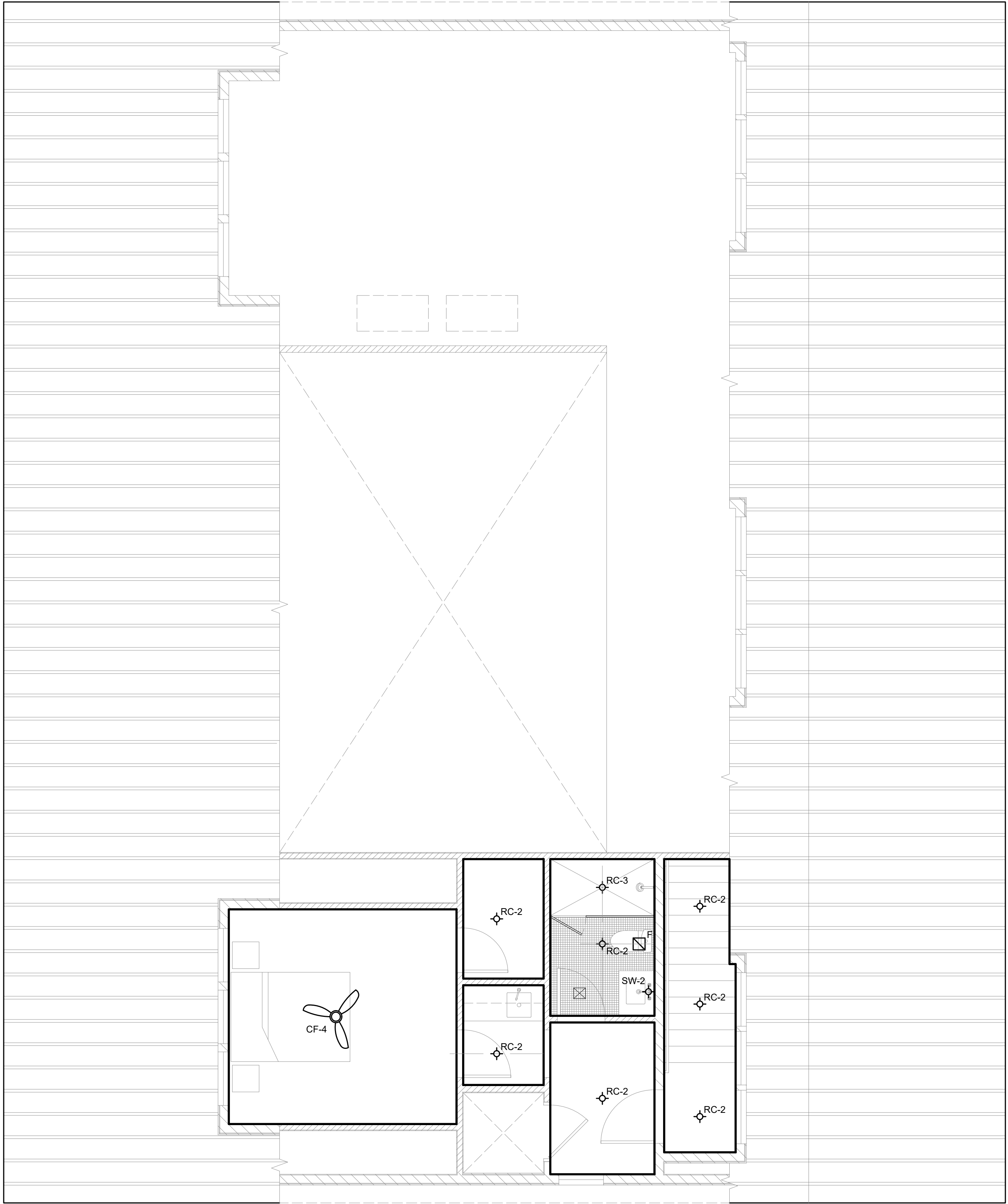
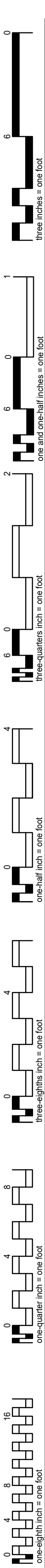
A

W

3

11





NOTES
Cement Board in Wet Locations

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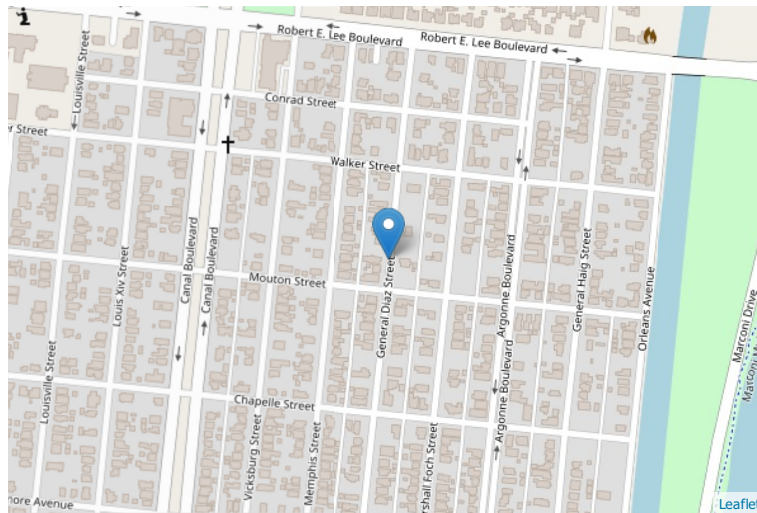
PROJECT NO. AA1747	
DRAWN BY: LL,L,R	
CHECKED BY: RA	
02.02.18	Schematic Design
04.11.18	Design Drawings

TITLE:
Second Floor
Reflected Ceiling
Plan

SHEET:

A-4.3

Pay Application Affidavit



Address: 6915 General Diaz, New Orleans LA 70124

Coordinates: 30° 0' 57.60486122688"N+90° 6' 12.45706448796"W

Time: 12:04:36 PM CST

Date: Friday, October 12, 2018

The undersigned hereby certifies and swears that all of the photographs included in this report and verified by the undersigned on the Pay Application affidavit (1) are true and actual photographs of the property that is the subject of this report and were taken by the undersigned on the date stated in this report and (2) represent an accurate representation of the current status of the subject property. Undersigned does hereby agree to indemnify, defend, and hold harmless the bank or financing institution for whom this report is created ("Recipient"), against any loss or damage, including, but not limited to, reasonable attorney's fees, costs, and expenses which the Recipient may incur by reason of any untruth(s) or inaccuracy of any of the foregoing certifications and/or representations set forth herein.

Paul Pablovich

5047231552

aes@aesrequest.com



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EVALUATION
SERVICES, LLC

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Asset Evaluation Services, LLC
La# 882304
Broker La # 995685319-CORP
Direct: 504-462-1604
aes@aesrequest.com