



**ASSET
EVALUATION
SERVICES,LLC**



CONSTRUCTION MONITORING AGREEMENT

Asset Evaluation Services, LLC (“AES”) appreciates your use of the AES Pay Application System (“System”). **James Lancaster** as Borrower , **Test Builder** as Contractor, and **Test Lender** as Lender (collectively, “Users”) agree to the terms of this Construction Monitoring Agreement and agree to work with one another in relation to secure and timely funding of construction activities at the following address: **TEST-6915 General Diaz-TEST, New Orleans, Louisiana 70124** (“Project”). As Users, you further agree that the monitoring of the Project will be accomplished pursuant to the draw schedule set forth in the AES Pay Application System (“Draw Schedule”).

Users further agree that the information contained in this Project Review is an accurate representation of the proposed project. By executing this Construction Monitoring Agreement, Users acknowledge, agree, and understand that the presented budget for this project is **\$400,000.00**. AES will only facilitate the processing of Pay Applications pursuant to the Draw Schedule amounts presented.

Users agree that any changes made to this project after the execution of this document will invalidate all agreements and conditions of any perceived or existing relationship between the Users and AES.

If any User identifies information in the presented Project Review that is not accurate please notify AES immediately via email at aes@aesrequest.com. Please include the Project # and subject address.

AES will assist in correcting any and all discrepancies and will resubmit the Project Review for review and acceptance by all Users.

Borrower
James Lancaster

DocuSigned by:

James Lancaster

8AD12580755B4E2...

jameswlancaste.r@gmail.com
985-974-8792

Builder
Test Builder

DocuSigned by:

Test Builder

0CF9811DD23E4B2...

Bo.oray67@gmail.com
5047231552

Commercial Lender
Test Lender

DocuSigned by:

Test lender

6BA475D4CCFB462...

AES
B.ooray67@gmail.com
(504)723-1552

Mortgage Lender
Test Mortgage

DocuSigned by:

Test Mortgage

D13339C8430F4E5...

AES Mortgage
Boor.ay67@gmail.com
504-723-1552



Project Review Report

Date: 5/14/2019

Project # 21544

TEST-6915 General Diaz-TEST, New Orleans, 70124

This letter is presented to confirm that Asset Evaluation Services has reviewed all information Provided by AES regarding the above referenced project.

AES would recommend that the borrower is notified of the following. That all change orders and cost overruns that exceed the presented budget of **\$400,000.00**. Will be the sole responsibility of the borrower.

The subject of this report is the new construction of a single-family residential structure.

All municipal permits and inspections should be submitted for review.

See attached supporting documentation and recommended draw schedule.

AES is familiar with the builder of record for this file.

Based on the information provided to AES, after proper permitting has been submitted for review, we see no reason at this time that this project should not proceed.

Please verify construction funds available: **\$400,000.00**.

AES reserves the right to adjust its position on this project at any time.

Please contact AES with any questions regarding this determination.

Your business is appreciated,

Asset Evaluation Services LLC
La# 882304
Broker La # 995685319-CORP
Direct: 504-462-1604
aes@aesrequest.com

Pay Application # 0

Budget:	\$400,000.00
Requested:	\$0.00
Balance:	\$400,000.00
Percent Complete:	0%
Subject Address/Location	
TEST-6915 General Diaz-TEST New Orleans , 70124	
Client Contact Information	
James Lancaster 985-974-8792 jameslancaster.r@gmail.com	
Subject Property Data	
Project Type:	New Construction
Subject:	Single Family
Stories:	2
Total Units:	1
Bedrooms:	3
Bathrooms:	2.5
SqFt. Living:	2300
Lot Size:	50x100
Bank Information	
Bank:	AES
Officer:	Test Lender
Draw 1	
Total:	
Requested:	
Balance:	
Draw 2	
Total:	
Requested:	
Balance:	
Draw 3	
Total:	
Requested:	
Balance:	
Draw 4	
Total:	
Requested:	
Balance:	
Draw 5	
Total:	
Requested:	
Balance:	
Draw 6	
Total:	
Requested:	
Balance:	
Draw 7	
Total:	
Requested:	
Balance:	
Engagement Date	
05/14/2019 09:30 AM	

Draw Items	Draw Funds	Draw 1	Draw 2	Draw 3	Draw 4	Draw 5	Draw 6	Draw 7	Available Funds	% Complete
Permitting	\$4,000.00								\$4,000.00	0 %
Plans/Engineering	\$8,000.00								\$8,000.00	0 %
Clearing/Grading/Demolition	\$4,000.00								\$4,000.00	0 %
Foundation System	\$60,000.00								\$60,000.00	0 %
Lumber Package	\$52,000.00								\$52,000.00	0 %
Framing Labor	\$36,000.00								\$36,000.00	0 %
Sheathing/Wrap	\$4,000.00								\$4,000.00	0 %
Roof Decking/Underlayment	\$4,000.00								\$4,000.00	0 %
Windows	\$8,000.00								\$8,000.00	0 %
Exterior Doors	\$4,000.00								\$4,000.00	0 %
Roofing Components	\$16,000.00								\$16,000.00	0 %
Plumbing Rough -In	\$24,000.00								\$24,000.00	0 %
Electrical Rough-In	\$24,000.00								\$24,000.00	0 %
HVAC (Air Conditioning)	\$24,000.00								\$24,000.00	0 %
Exterior Finishes	\$28,000.00								\$28,000.00	0 %
Insulation	\$4,000.00								\$4,000.00	0 %
Drywall	\$16,000.00								\$16,000.00	0 %
Mil-work (Interior Trim)	\$12,000.00								\$12,000.00	0 %
Interior Doors	\$4,000.00								\$4,000.00	0 %
Cabinets/Vanities	\$16,000.00								\$16,000.00	0 %
Plumbing Fixtures	\$4,000.00								\$4,000.00	0 %
Electrical Fixtures	\$4,000.00								\$4,000.00	0 %
HVAC Condenser Set	\$4,000.00								\$4,000.00	0 %
Flooring	\$12,000.00								\$12,000.00	0 %
Tile Work	\$8,000.00								\$8,000.00	0 %
Counter Tops Installed	\$4,000.00								\$4,000.00	0 %
Flat Work	\$12,000.00								\$12,000.00	0 %
Totals:	\$400,000.00								\$400,000.00	0 %

Comments
AES will continue to monitor this project accordingly. Please contact AES with any questions regarding this report. Work in place at the time of this inspection is in line with the following draw recommendation: \$0.00

Subject



Photographic Detail



PROPERTY LEFT



PROPERTY ACROSS



SURROUNDING AREA



SURROUNDING AREA

Photographic Detail



SURROUNDING AREA



SURROUNDING AREA



SURROUNDING AREA



SURROUNDING AREA

Photographic Detail



SURROUNDING AREA



REAR OF SITE



REAR OF SITE



REAR OF SITE



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
10/11/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Continental Brokers, Inc. 212 Key Drive Madison MS 39110	CONTACT NAME: G. Collier Simpson PHONE (A/C, No. Ext): (866) 386-4136 x2245 FAX (A/C, No): (601) 707-1044 E-MAIL ADDRESS: cs@continentalbrokers.biz												
INSURER(S) AFFORDING COVERAGE													
INSURED Asset Evaluation Services LLC 6915 General Diaz St New Orleans LA 70124	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">INSURER A: Ohio Security Insurance Co.</td> <td style="width: 20%; text-align: center;">NAIC # 24082</td> </tr> <tr> <td colspan="2">INSURER B: Hiscox US Broker</td> </tr> <tr> <td colspan="2">INSURER C:</td> </tr> <tr> <td colspan="2">INSURER D:</td> </tr> <tr> <td colspan="2">INSURER E:</td> </tr> <tr> <td colspan="2">INSURER F:</td> </tr> </table>	INSURER A: Ohio Security Insurance Co.	NAIC # 24082	INSURER B: Hiscox US Broker		INSURER C:		INSURER D:		INSURER E:		INSURER F:	
INSURER A: Ohio Security Insurance Co.	NAIC # 24082												
INSURER B: Hiscox US Broker													
INSURER C:													
INSURER D:													
INSURER E:													
INSURER F:													

COVERAGES **CERTIFICATE NUMBER:** CL16101101561 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			BLS57566722	9/26/2016	9/26/2017	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 15,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 Experience Mod Factor 1 \$
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS			BAS57566722	9/26/2016	9/26/2017	COMBINED SINGLE LIMIT (Ea accident) \$ 500,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ Uninsured motorist combined \$ 500,000
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
B	Professional Liability \$2500 retention			MPL1714704.16 claims made	9/11/2016	9/11/2017	Aggregate Limit \$1,000,000 Each Claim Limit \$1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER

CANCELLATION

	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE G Collier Simpson/GCS

CERTIFICATE OF REAL ESTATE ERRORS AND OMISSIONS INSURANCE

Insurance Company: Continental Casualty Company, a CNA insurance company (Continental)

Producer: Rice Insurance Services Company, LLC (RISC)
4211 Norbourne Boulevard, Louisville, Kentucky 40207-4048
Phone: (800) 637-7319 Fax: (502) 897-7174

Mailing Address:

AES REALTORS, LLC
AES REALTORS, LLC
6915 GENERAL DIAZ STREET
NEW ORLEANS, LA 70124

THIS CERTIFICATE OF INSURANCE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER OTHER THAN THOSE SET FORTH IN THE POLICY AND ANY ENDORSEMENTS ISSUED TO THE LICENSEE. THIS CERTIFICATE DOES NOT AMEND, EXTEND, OR ALTER THE COVERAGE AFFORDED BY THE INSURANCE POLICY REFERENCED HEREIN.

This is to certify that the following Licensee is insured, as stated below, through the group errors and omissions insurance policy issued to the Louisiana Real Estate Commission:

Insured: AES REALTORS, LLC

Real Estate License Number: B 995694507
(if applicable)

Policy Number: 17 EO 0015LA- / 00723843

Individual Policy Period: 01/01/2017 to 01/01/2018 *

Limits of Liability: \$100,000 per claim / \$300,000 aggregate**

Deductibles: Damage Deductible: \$1,000
Claim Expense Deductible: \$0

This policy is a claims-made-and-reported policy. It only applies to Claims that are made and reported during the Individual Policy Period or any applicable Extended Reporting Period. To protect the Insured's interest and preserve any available coverage, it is essential to report claims timely in accordance with the policy provisions.

You may obtain a copy of the group policy online at: www.risceo.com. You may also obtain copies of the group policy and any optional endorsements purchased by calling (800) 637-7319, ext.1.

Authorized Representative:

Date Generated:



5/3/2017

* If this policy is cancelled prior to the expiration date indicated, notice will be delivered in accordance with policy provisions.

**Limits of liability may have been reduced by payments on claims.

DISCLOSURE – IMPORTANT NOTICE TO THE INSURED LICENSEE

Regarding Your Real Estate Errors and Omissions Policy
 Administered by Rice Insurance Services Company, LLC
 • We put the *Experience and Options* in E&O programs •

THIS DISCLOSURE FORM IS NOT YOUR POLICY. IT DESCRIBES SOME OF THE MAJOR FEATURES OF THE CLAIMS-MADE-AND-REPORTED POLICY FORM. READ YOUR POLICY CAREFULLY TO DETERMINE RIGHTS, DUTIES, AND WHAT IS AND IS NOT COVERED. ONLY THE POLICY PROVISIONS DETERMINE THE SCOPE OF YOUR INSURANCE COVERAGE.

Rice Insurance Services Company, LLC (RISC) administers your real estate errors and omissions (E&O) insurance policy, which is issued by Continental Casualty Company (Continental), a CNA company. This policy is a claims-made-and-reported policy. It applies to Claims made and reported during the Individual Policy Period or any applicable Extended Reporting Period (see below). Additionally, the Claim must involve Professional Services that occurred after the Retroactive Date.

Nature of the Claims-Made-And-Reported Policy: Under a claims-made-and-reported policy, failure to report a Claim timely manner may jeopardize any coverage that would otherwise have been available. Therefore, it is essential to notify us in writing immediately of any Claim. Please note that orally informing RISC of a Claim is not adequate reporting and will not constitute notice of the Claim to Continental. Some Insureds may believe that a Claim is not made until a lawsuit is filed. That is not necessarily the case. We suggest you review the policy's definition of a Claim and note that even an email received by the Insured may meet the definition of a Claim in some instances.

How to Notify Continental of a Claim: Submit a completed Notice of Claim Form (available on our website at http://www.risceo.com/NOTICE_OF_CLAIM_FORM.pdf or by calling us at 1-800-637-7319, Ext. 2, and requesting one) by any of the following methods:

U.S. Mail Delivery:

RISC
 Claims Department
 Post Office Box 6709
 Louisville, Kentucky 40206-0709

Overnight Delivery:

RISC
 Claims Department
 4211 Norbourne Boulevard
 Louisville, Kentucky 40207-4048

Electronic Delivery:

Email: claims@risceo.com
 Fax: (502) 896-6343

Such written notice shall be submitted as soon as possible after the Claim is first made but in no event more than 90 days after the Insured becomes aware of such Claim. The written notice shall include the name of the Licensee and the time, place and details of the Claim.

What Is and Isn't Covered: Only the policy can provide the actual terms, coverages, amounts, conditions, and exclusions. We strongly recommend you read the entire policy, including the "Exclusions" section. You may obtain a copy of the policy on our website, www.risceo.com, or by calling us at (800) 637-7319, Ext. 1, and requesting one.

Important Information if You DO Renew Your Policy

Timely Renewal: The policy does not apply to Professional Services performed before your Retroactive Date. The Retroactive Date is the date you first obtained, and since which have continuously maintained, uninterrupted real estate E&O insurance. If there is a gap in coverage (in other words, a break between policy periods), there will be no coverage for Professional Services rendered before and through the last day of the gap, even if you had insurance at the time the services were provided and again when the Claim arises. Additionally, failure to maintain continuous E&O insurance may violate your state's licensing law and result in penalties and fines. Always renew timely to prevent a gap in coverage and avoid potential fines and penalties.

Important Information if You DO NOT Renew Your Policy

Extended Reporting Periods (also known as "Tail Coverage"): Many professional liability claims are not made until years after the subject transaction occurred. The policy may provide an Automatic Extended Reporting Period applicable to Claims first made and reported within 90 days after the effective date of cancellation or nonrenewal of the policy. In addition, if you do not renew coverage through our program next year, you may purchase an Optional Extended Reporting Period endorsement within 90 days after the effective date of cancellation or nonrenewal. This endorsement allows the policy to apply to Claims first made and reported during the Optional Extended Reporting Period. Carefully review your policy to determine the length of Optional Extended Reporting Periods available and whether an Automatic Extended Reporting Period applies.

RISC Rice Insurance Services Company, LLC
 P.O. Box 6709, Louisville, KY 40206-0709

Phone: (502) 897-1876 Toll Free: (800) 637-7319 Fax: (502) 897-7174 Website: www.risceo.com

State of Louisiana



State Licensing Board for Contractors

This is to Certify that:

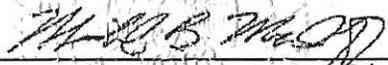
ASSET EVALUATION SERVICES, LLC
6915 General Diaz Street
New Orleans, LA 70124

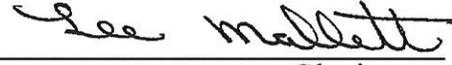
is duly licensed and entitled to practice the following classifications

RESIDENTIAL BUILDING CONTRACTOR



Witness our hand and seal of the Board dated,
Baton Rouge, LA 12th day of September 2015


Director


Chairman


Treasurer

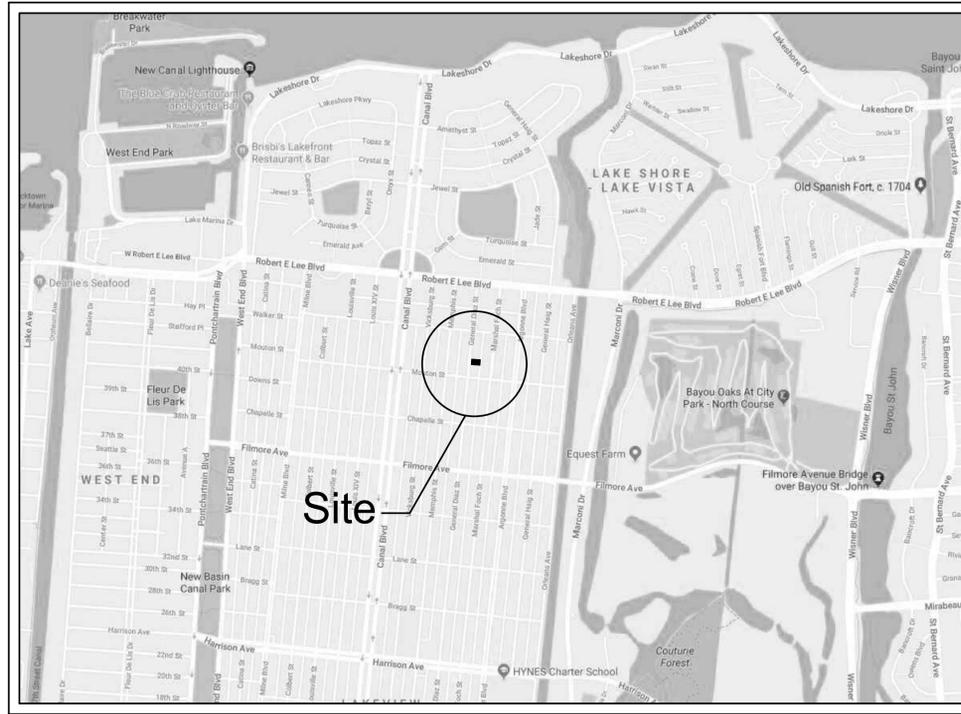
Expiration Date: September 11, 2018

License No: 882304

This License Is Not Transferrable

GENERAL NOTES:

- The Contractor shall confirm and verify in writing (employ surveyor) that all property lines and setbacks are met prior to the start of construction.
- The Contractor shall coordinate and obtain all necessary permits and approvals from governing regulatory agencies. Construction work is not to begin until all required regulatory approvals have been issued.
- The Contractor shall not submit final price and execute contract with Owner until all required changes requested by the regulatory agencies have been included in the contract price.
- All materials and work shall be in accordance with applicable federal, state, and local building codes, amendments, rules, regulations, ordinances, laws, orders, and approvals that are required by public authorities having jurisdiction over the work. In the event of conflict, the most stringent requirements shall apply. No work shall be concealed until approved by local inspectors.
- It is the intent of the contract documents to provide for complete and finished work. Each trade (subcontractor) shall completely review plans for their respective work and related work by other trades (subcontractors). The Contractor shall coordinate and provide all miscellaneous components and parts which are not shown on the contract documents but are required to complete the work shown.
- The Contractor and subcontractors shall review and coordinate all architectural, electrical, and mechanical work to confirm that all components will achieve their intended use and will maintain ceiling heights shown. Conflicts shall be brought to the attention of the Architect prior to the start of construction. Verify that no conflicts between subcontractors exist and all required clearances for installation and maintenance of equipment are provided.
- Incidental work and components which are required as an essential, functional, or operational item or system, are required to complete any assembly and to complete full scope of work.
- All work illustrated in these contract documents indicates new construction unless otherwise indicated as existing to remain.
- The Contractor shall subcontract with suppliers, fabricators, and installation companies which can demonstrate that they possess the knowledge, experience, and proven capabilities to fully perform all aspects of work without omission.
- All products shall be installed in compliance with industry standards and as required by the product manufacturer's latest published specifications and installation requirements.
- Substitutions must be pre-approved in writing by Architect prior to the start of construction. Any work or material requirements of such substitution shall be coordinated (with all trades) and provided by the Contractor. Contractor must verify in writing all substitutions will not impact project cost or project schedule prior to request of such substitution. Substitutions shall be approved by regulatory agencies in writing prior to the start of construction.
- Before commencing work, the Contractor shall visit the site, accompanied by the Owner and Architect, and shall note the existing conditions affecting the work. The Contractor shall examine adjoining work for assurance that no conditions exist to prevent the completion of work. If Contractor observes field conditions that are different from the work shown in the contract documents, the Architect shall be notified immediately in writing so that action may be taken to accommodate the condition prior to beginning construction. Contractor assumes responsibility for any such work undertaken without notifying and receiving approval from the Architect.
- The Contractor shall be responsible for field verifying actual locations of all existing utilities and structures on the project site. Locations of existing utilities and structures indicated on the drawings are approximately only, and those indicated are not necessary all that may exist on the project site. The Contractor shall coordinate the location (horizontal and vertical) of the existing utilities (power, telephone, gas, water, sewer, etc.) with the appropriate utility company before construction begins.
- The Contractor shall be responsible for coordinating all utilities (including but not limited to electric, sewer and water tie-ins, connections and disconnections) with the appropriate utility provider at no additional cost to owner.
- All existing sanitary sewer manhole tops, water valve boxes, meters, storm sewers, or other related appurtenances shall be adjusted to finish grade by Contractor and no additional cost to owner.
- If, during construction, the Contractor uncovers unusual conditions that create a substantial complication which could not be foreseen at the outset of construction, the Owner, Architect, Contractor, and affected subcontractors shall meet to determine a fair and equitable solution as each issue occurs.
- Asbestos abatement, lead paint removal, and other hazardous material removal is not in the contract. Should the Contractor encounter the presence, or possible presence, of potentially hazardous materials, the Contractor shall notify the owner for instructions prior to continuing work.
- The Contractor shall protect all materials, construction, utilities and facilities from damage, including workers, theft & weather. Damaged components shall be replaced at no cost to Owner.
- The Contractor shall install and provide all safety barriers during construction to protect the public from injury and access to the building and site.
- At all times, the contractor shall be solely and completely responsible for the conditions of the job site, including the safety of persons and property, and for all necessary independent reviews of these conditions. The Architect's, Engineer's, or Owner's job site review is not intended to review the adequacy of the Contractor's safety measures.
- Building shall be maintained in weatherproof & secure condition throughout work.
- All pipe chase walls shall be constructed to completely conceal and enclose pipes with full thickness of gypsum board on each side of wall.
- Fire rated assemblies shall be constructed in compliance with published UL Certifications Directory Listings and Classifications. Joints occurring in fire rated assemblies (walls and ceilings) shall be staggered both horizontally and vertically.
- Erect and install all work level, plumb, square, true, straight, and in proper alignment.
- When project is complete, clean and polish glass, hardware, and other such items with factory finishes. Remove all dust with treated dust cloths or vacuum cleaners. Waste and refuse caused by the work shall be removed from premises and disposed of by Contractor. Clean site at end of project. Remove dust, debris, oils, stains, fingerprints, and labels from exposed surfaces, including glazing.
- All existing sanitary sewer manhole tops, water valve boxes, meters, storm sewers, or other related appurtenances shall be adjusted to finish grade by contractor at no additional cost to owner.



ARCHITECT:

Albert Architecture & Urban Design ap/lc
 3221 Tulane Avenue
 New Orleans . LA 70119
 504 . 827 . 0056
 albert@albert-architecture.com

OWNER / CONTRACTOR:

I Am New Orleans, LLC
 Penny Pounds
 6915 General Diaz Street
 New Orleans, LA 70124
 Penny@iamneworleans.com

STRUCTURAL ENGINEER:

Grieshaber Consulting LLC
 John Grieshaber Ph.D., P.E
 4600 Lake Villa Drive
 Metairie, LA 70002
 john.grieshaber@gmail.com

Pablovich Residence

6915 General Diaz Street
 New Orleans, LA 70124

DRAWING INDEX:

- A-0.0 Cover Sheet
- A-0.1 Abbreviations, Symbols, & Site Survey
- A-1.0 Site Plan
- A-1.1 Ground Floor Plan
- A-1.2 First Floor Plan
- A-1.3 Second Floor Plan
- A-1.4 Roof Plan
- A-1.5 Door & Window Schedules
- A-2.0 Exterior Elevations
- A-2.1 Exterior Elevations
- A-3.0 Sections
- A-4.1 Ground Floor Reflected Ceiling Plan
- A-4.2 First Floor Reflected Ceiling Plan
- A-4.3 Second Floor Reflected Ceiling Plan
- S-1.1 Foundation Plan
- S-1.2 First Floor Framing Plan
- S-1.3 Second Floor Framing Plan
- S-1.4 Roof Framing Plan
- P-1.1 Plumbing Riser Diagram

PROJECT INFORMATION:

Project Description:		The project is a new construction of a single-family home.	
Design Criteria:		International residential building code (IRC) 2015 Edition design wind speed- 130 MPH exposure category "B" Framing and fasteners shall comply with American Forest and Paper Association (AF & PA) Wood Frame Construction manual for one- and two-family dwellings (WFCM).	
Building Code Requirements:		2015 International Residential Code	
Zoning District:		S-LRS1	
Address:		6915 General Diaz Street	
Square:		68	
Lot:		18,19,20	
Lot Area:		9,150 SF	
Construction Type:		Type: V-B	
Building Height:		29'-3"	
Number of Stories:		2	
Building Area: (measured around perimeter from inside face of exterior walls)			
Garage:		554 SF	
First Floor:		2,629 SF	
Second Floor:		373 SF	
Porches:		775 SF	
Total:		4,331 SF	
Front Setback:		1,505 SF	
Impermeable Surface in Front Setback:		19%	

PRELIMINARY
 NOT FOR
 CONSTRUCTION

ALBERT
 ARCHITECTURE
 & URBAN DESIGN ap/lc

3221 Tulane Avenue
 New Orleans . LA . 70119
 504 . 827 . 0056

Pablovich Residence
 6915 General Diaz Street
 New Orleans, LA

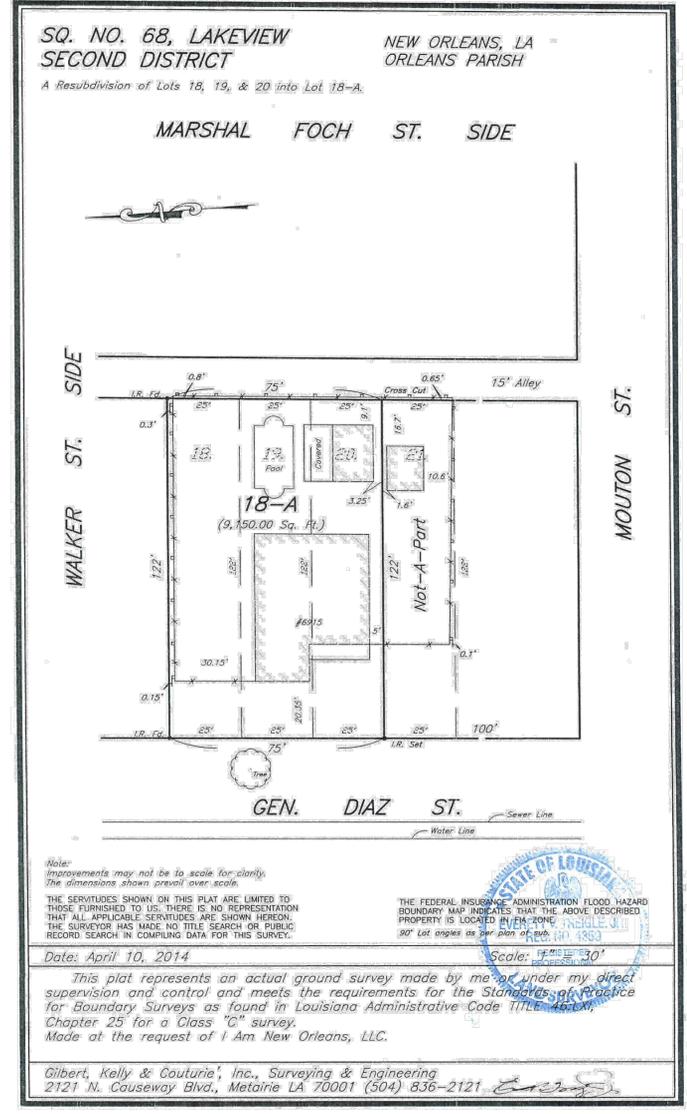
This drawing is copyrighted and is the sole property of Albert Architecture and Urban Design ap/lc. Any use or reproduction of this drawing or the information contained here in without the written permission of Albert Architecture & Urban Design ap/lc is prohibited, all rights reserved.

PROJECT NO:	AA1747
DRAWN BY:	LLLR
CHECKED BY:	RA
02.02.18	Schematic Design
04.11.18	Design Drawings

TITLE:
 Cover Sheet

SHEET:

A-0.0

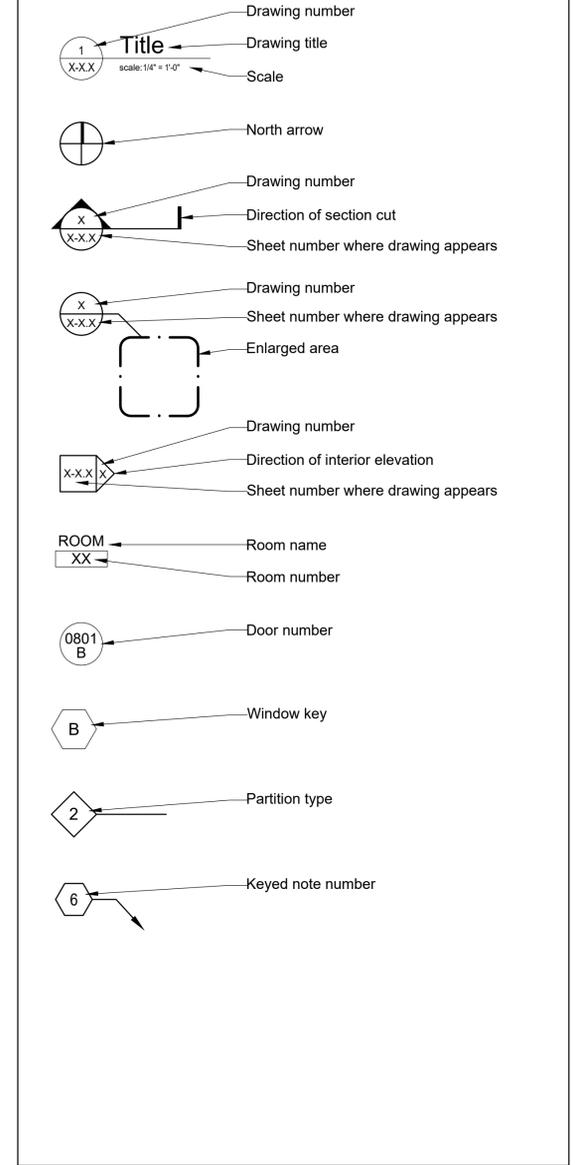


1 Site Survey
A-0.1 scale:N.T.S.

ABBREVIATIONS:

A.F.F. Above Finish Floor	A	J.B. Junction Box	J
A.F.G. Above Finish Grade		JT Joint	
A/C Air Conditioning		JSTS Joists	
AD Area Drain			
ALUM Aluminum			
APPROX Approximately			
ATTEN Attenuation			
	B		L
B.O Bottom of		LM Limestone	L
BD Board		LVL Laminated Veneer Lumber	
BATTS Fiberglass Insulation			
BLDG. Building			
BLK Block			
BOL Bollard			
BOT Bottom			
	C		M
C.B. Catch Basin		M.H. Metal Threshold	M
C.J. Control Joint		MANUF Manufacturer	
C.I.P. Cast-in-place		MAX Maximum	
C.M.U. Concrete Masonry Unit		MAS Masonry	
C.O. Clean Out		MB Modified Bitumen	
C.G. Cold Rolled		MECH Mechanical	
CLG. Ceiling		MIN Minimum	
CLO. Closet		MTL Metal	
COL. Column			
CONC. Concrete			
CONSTR. Construction			
CONT. Continuous			
	D		N
D Diffuser		N.I.C. Not in Contract	N
DBL. Double		NOM Nominal	
DEMO Demolition		NTS Not to Scale	
DET Detail			
DF Douglas Fir			
DIA. Diameter			
DIAG Diagonal			
DIM Dimension			
DISP Dispenser			
DIV Divided			
DN Down			
DWGS Drawings			
	E		O
E.J. Expansion Joint		O.C. On Center	O
E.W. Each Way		O.H. Overhang	
EA Each		OPG Opening	
EL Elevation			
ELECT Electrical			
EPS Extruded Polystyrene			
EPDM Ethylene Propylene Diene Monomer			
EQ Equal			
EQUIP Equipment			
EXIST Existing			
EXP Expansion			
EXT Exterior			
	F		P
F.D. Floor Drain		PLAS Plaster	P
F.H. Flat Head		PLYWD Plywood	
F.O. Face of		PNT Paint	
F.R. Fire Resistance		P.T. Pressure Treated	
FDN Foundation			
FIN Finish			
FLR Floor			
FRM Frame			
FRP Fiberglass Reinforced Panel			
FT Foot			
	G		Q
G.I. Galvanized Iron		Q.T. Quarry Tile	Q
GA Gauge			
GALV Galvanized			
GEN General			
GYP Gypsum			
GYP BD Gypsum Board			
	H		R
H.M. Hollow Metal		R.A. Return Air	R
H.R. Handrail		R.D. Roof Drain	
HDR Header		R.O. Rough Opening	
HRDWD Hardwood		RAD Radius	
HORZ Horizontal		RE Reference	
HT Height		REC Recessed	
HVY Heavy		REINF Reinforced	
	I	REQ'D Required	
I.D. Inside Dimension		RET Retaining	
IN Inch		RM Room	
INSUL Insulation		RREG Register	
INT Interior		RT Roof Truss	
INV Invert			
	J		S
	K		S.A. Supply Air
	L		S Sealant
	M		SBW Stud Bearing Wall
	N		SCHED Schedule
	O		SECT Section
	P		SH Shutter
	Q		SIM Similar
	R		SL Slope
	S		SPEC Specification
	T		SQ Square
	U		STC Sound Transmission Class
	V		STD Standard
	W		STL Steel
	X		STRUCT Structural
	Y		SUSP Suspended
	Z		

SYMBOL LEGEND:



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PROJECT NO.	AA1747
DRAWN BY:	LLLR
CHECKED BY:	RA
02.02.18	Schematic Design
04.11.18	Design Drawings

TITLE:
**Abbreviations,
Symbol Legend,
& Site Survey**

SHEET:
A-0.1

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PROJECT NO. AA1747
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04.11.18 Design Drawings

TITLE:
First Floor Plan

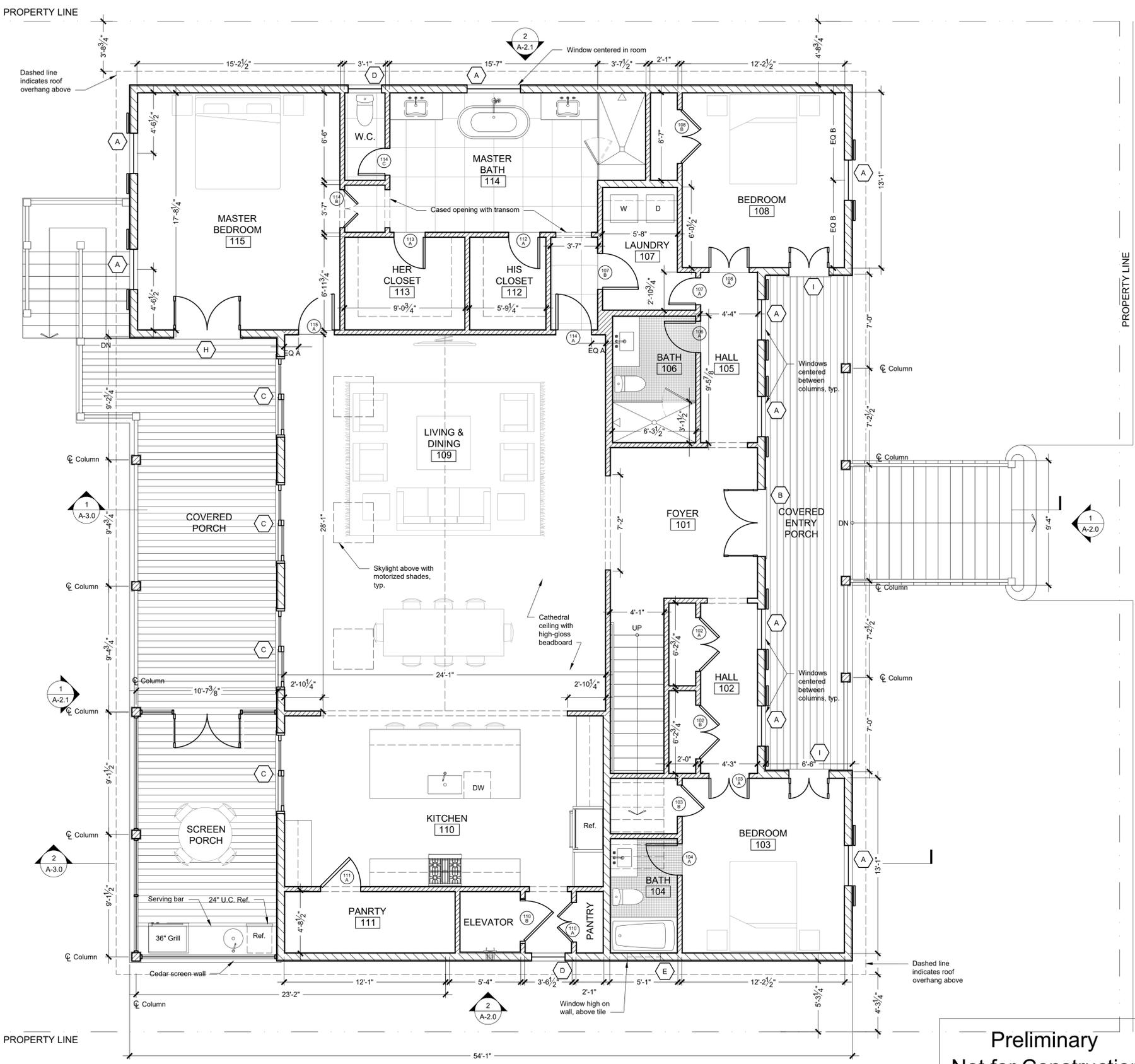
SHEET:
A-1.2

- GENERAL PLAN NOTES:**
- All dimensions are to face of framing unless otherwise noted.
 - Verify locations of all plumbing vents & exhausts with Architect prior to construction.
 - Provide precut plywood to protect window openings in accordance with R301.2.1.2 IRC 2015. Store on site.

- WALL KEY:**
- 2x4 stud wall
 - 2x6 stud wall

FIRST FLOOR FINISH SCHEDULE:

ROOM NUMBER	NAME	FLOOR	BASE	CEILING	WALLS	NOTES
101	Foyer	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
102	Hall	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
103	Bedroom	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
104	Bath	Tile	Wood - painted	Moisture Resistant Gypsum Board w/ Paint - w/ all the wairstock & full height in showers	Moisture Resistant Gypsum Board w/ Paint	Fiber-Cement Board in Wet Locations
105	Hall	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
106	Bath	Tile	Wood - painted	Moisture Resistant Gypsum Board w/ Paint - w/ all the wairstock & full height in showers	Moisture Resistant Gypsum Board w/ Paint	Fiber-Cement Board in Wet Locations
107	Laundry	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
108	Bedroom	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
109	Living & Dining	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
110	Kitchen	Tile	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
111	Pantry	Tile	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
112	His Closet	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
113	Her Closet	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
114	Master Bath	Tile	Wood - painted	Moisture Resistant Gypsum Board w/ Paint - w/ all the wairstock & full height in showers	Moisture Resistant Gypsum Board w/ Paint	Fiber-Cement Board in Wet Locations
115	Master Bedroom	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	



1
A-1.2
First Floor Plan
scale: 1/4" = 1'-0"

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CHECKED BY: RA
02.02.18 Schematic Design
04.11.18 Design Drawings

TITLE:
Second Floor Plan

SHEET:
A-1.3

GENERAL PLAN NOTES:

- All dimensions are to face of framing unless otherwise noted.
- Verify locations of all plumbing vents & exhausts with Architect prior to construction.
- Provide precut plywood to protect window openings in accordance with R301.2.1.2 IRC 2015. Store on site.

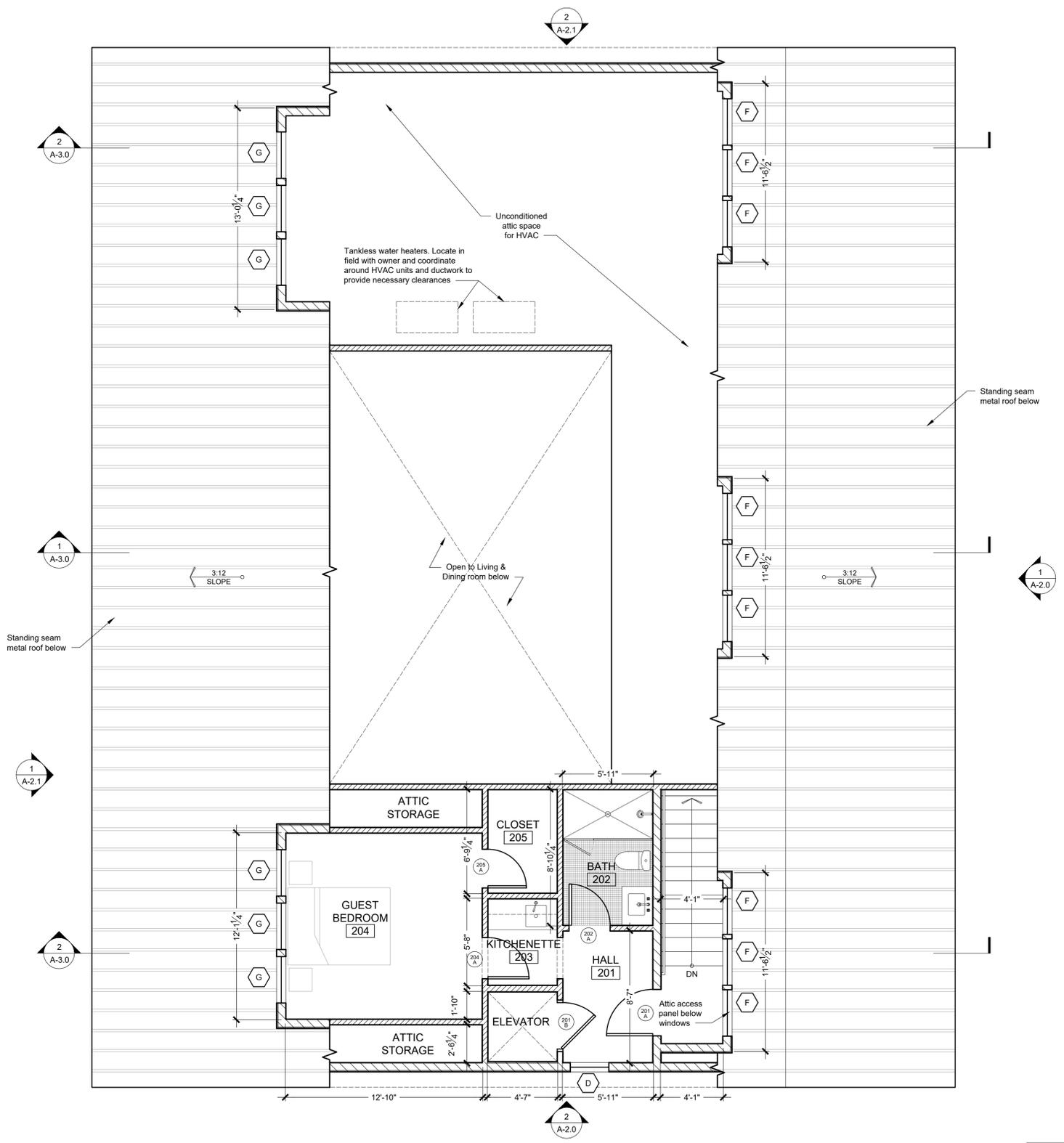
WALL KEY:

2x4 stud wall 

2x6 stud wall 

SECOND FLOOR FINISH SCHEDULE:

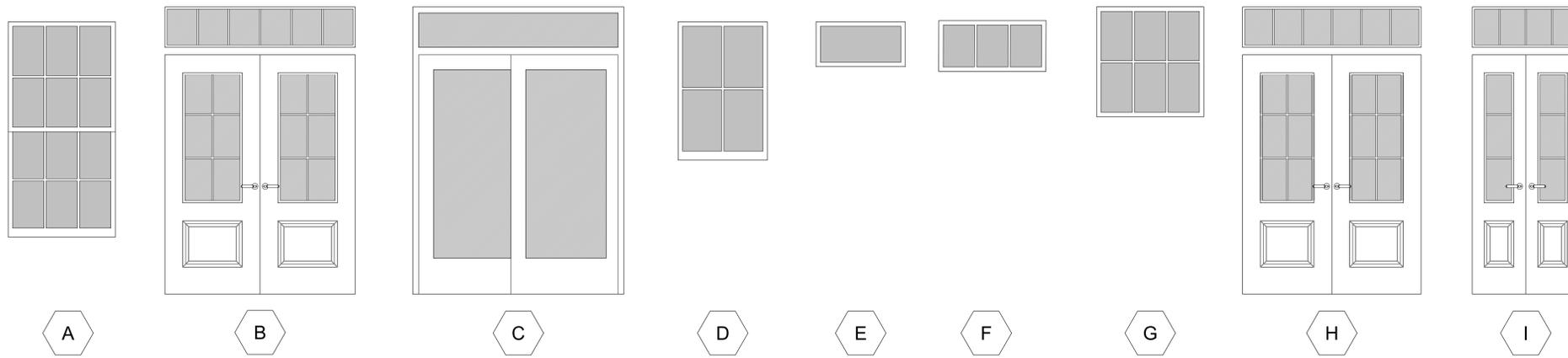
ROOM NUMBER	NAME	FLOOR	BASE	CEILING	WALLS	NOTES
201	Hall	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
202	Bath	Tile	Wood - painted	Moisture Resistant Gypsum Board w/ Paint - w/ all tile wainscot & full height in showers	Moisture Resistant Gypsum Board w/ Paint	Fiber-Cement Board in Wet Locations
203	Kitchenette	Tile	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
204	Guest Bedroom	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	
205	Closet	Wood - stained	Wood - painted	Gypsum Board w/ Paint	Gypsum Board w/ Paint	



Second Floor Plan
scale: 1/4" = 1'-0"

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EXTERIOR DOOR & WINDOW ELEVATIONS:



GENERAL WINDOW NOTES:

- Contractor to verify all bedrooms have at least (1) unit that meets egress requirements.
- Provide safety glass where required by code, typical.
- Provide precut plywood to protect window openings in accordance with R301.2.1.2 IRC 2015 ed. Store on site.

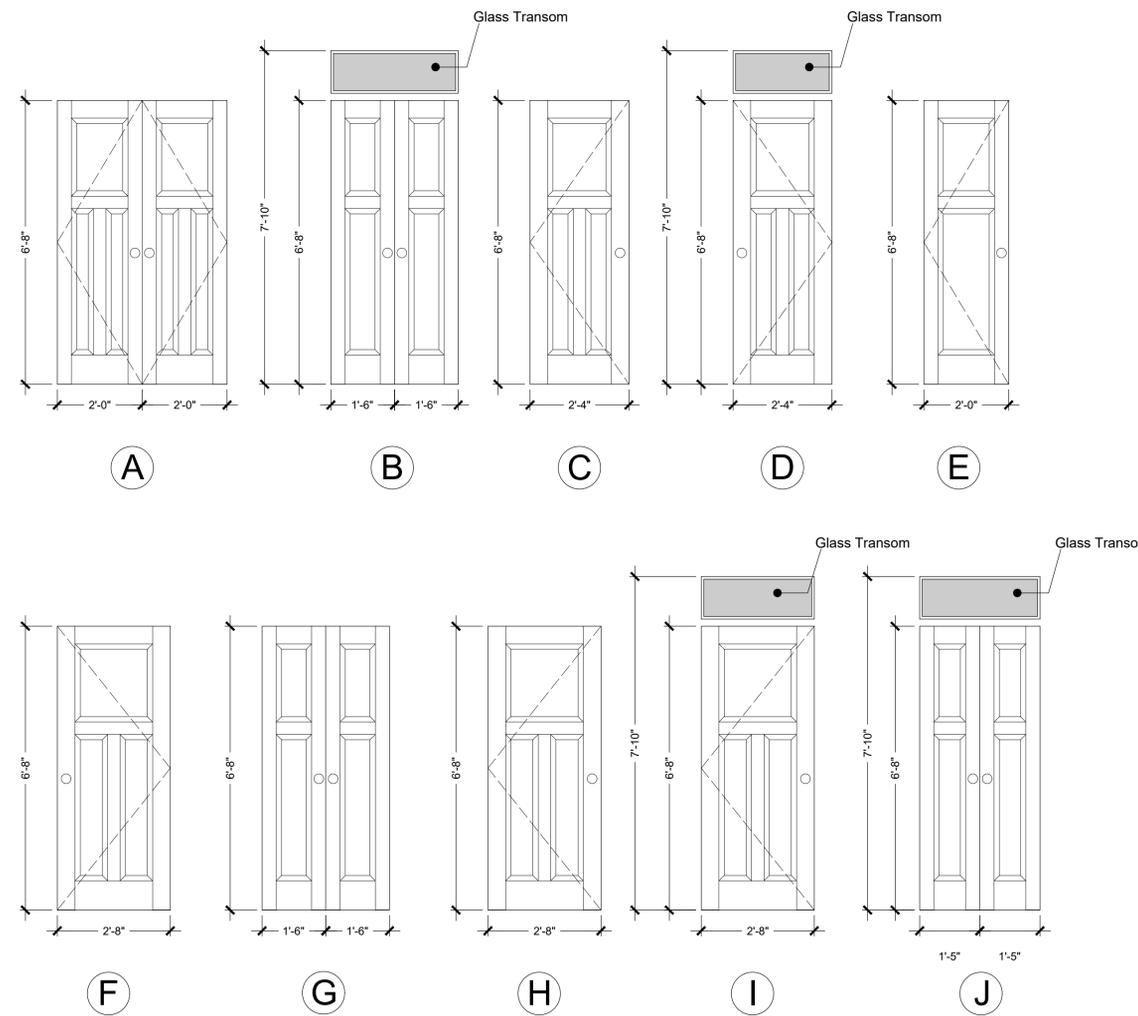
WINDOW & DOOR SCHEDULE:

MARK	TYPE	Size			Matt	NOTES
		W	HT	THK		
A	Single Hung	3'-0"	6'-0"	-	Vinyl	
B	Door w/ Transom	5'-4" (pair)	6'-8"	-	Wood	French pair
C	Sliding Door w/ Transom	6'-0"	6'-8"	-	Fiber glass	
D	Fixed	2'-6"	3'-10"	-	Vinyl	
E	Fixed	2'-6"	1'-2"	-	Wood	
F	Single Hung	3'-0"	1'-5"	-	Vinyl	VIF sill height to not conflict with wall tile
G	Single Hung	3'-0"	3'-0"	-	Vinyl	
H	Door w/ Transom	5'-0" (pair)	6'-8"	-	Wood	French pair
I	Door w/ Transom	3'-0" (pair)	6'-8"	-	Wood	French pair

INTERIOR DOOR SCHEDULE:

MARK	ELEVATION	SWING	DOOR SIZE			R.O.	Matt	TYPE
			W	HT	THK			
102A	A	-	4'-0" (Pair)	6'-8"	1 3/8"	6'-10"	MDF	Flat Panel with Bevel Sticking
102B	A	-	4'-0" (Pair)	6'-8"	1 3/8"	6'-10"	MDF	Flat Panel with Bevel Sticking
103A	B	-	3'-0" (Pair)	6'-8"	1 3/8"	8'-0"	MDF	Flat Panel with Bevel Sticking with Glass Transom
103B	C	LH	2'-4"	6'-8"	1 3/8"	6'-10"	MDF	Flat Panel with Bevel Sticking
104A	D	RH	2'-4"	6'-8"	1 3/8"	8'-0"	MDF	Flat Panel with Bevel Sticking with Glass Transom
106A	D	RH	2'-4"	6'-8"	1 3/8"	8'-0"	MDF	Flat Panel with Bevel Sticking with Glass Transom
107A	E	LH	2'-0"	6'-8"	1 3/8"	6'-10"	MDF	Flat Panel with Bevel Sticking
107B	F	RH	2'-8"	6'-8"	1 3/8"	6'-10"	MDF	Flat Panel with Bevel Sticking
108A	B	-	3'-0" (pair)	6'-8"	1 3/8"	8'-0"	MDF	Flat Panel with Bevel Sticking with Glass Transom
108B	A	-	4'-0" (pair)	6'-8"	1 3/8"	6'-10"	MDF	Flat Panel with Bevel Sticking
110A	G	-	3'-0" (pair)	6'-8"	1 3/8"	6'-10"	MDF	Flat Panel with Bevel Sticking
110B	F	RH	3'-0"	6'-8"	1 3/8"	6'-10"	MDF	Flat Panel with Bevel Sticking
111A	H	LH	3'-0"	6'-8"	1 3/8"	6'-10"	MDF	Flat Panel with Bevel Sticking
112A	C	LH	2'-4"	6'-8"	1 3/8"	6'-10"	MDF	Flat Panel with Bevel Sticking
113A	C	LH	2'-4"	6'-8"	1 3/8"	6'-10"	MDF	Flat Panel with Bevel Sticking
114A	I	LH	2'-8"	6'-8"	1 3/8"	8'-0"	MDF	Flat Panel with Bevel Sticking with Glass Transom
114B	J	-	2'-10" (pair)	6'-8"	1 3/8"	8'-0"	MDF	Flat Panel with Bevel Sticking with Glass Transom
114C	E	LH	2'-0"	6'-8"	1 3/8"	6'-10"	MDF	Flat Panel with Bevel Sticking
115A	F	RH	2'-8"	6'-8"	1 3/8"	6'-10"	MDF	Flat Panel with Bevel Sticking

INTERIOR DOORS:



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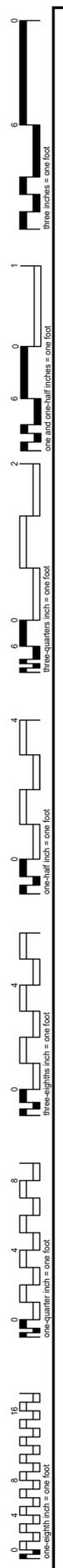
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02.02.18	Schematic Design
04.11.18	Design Drawings

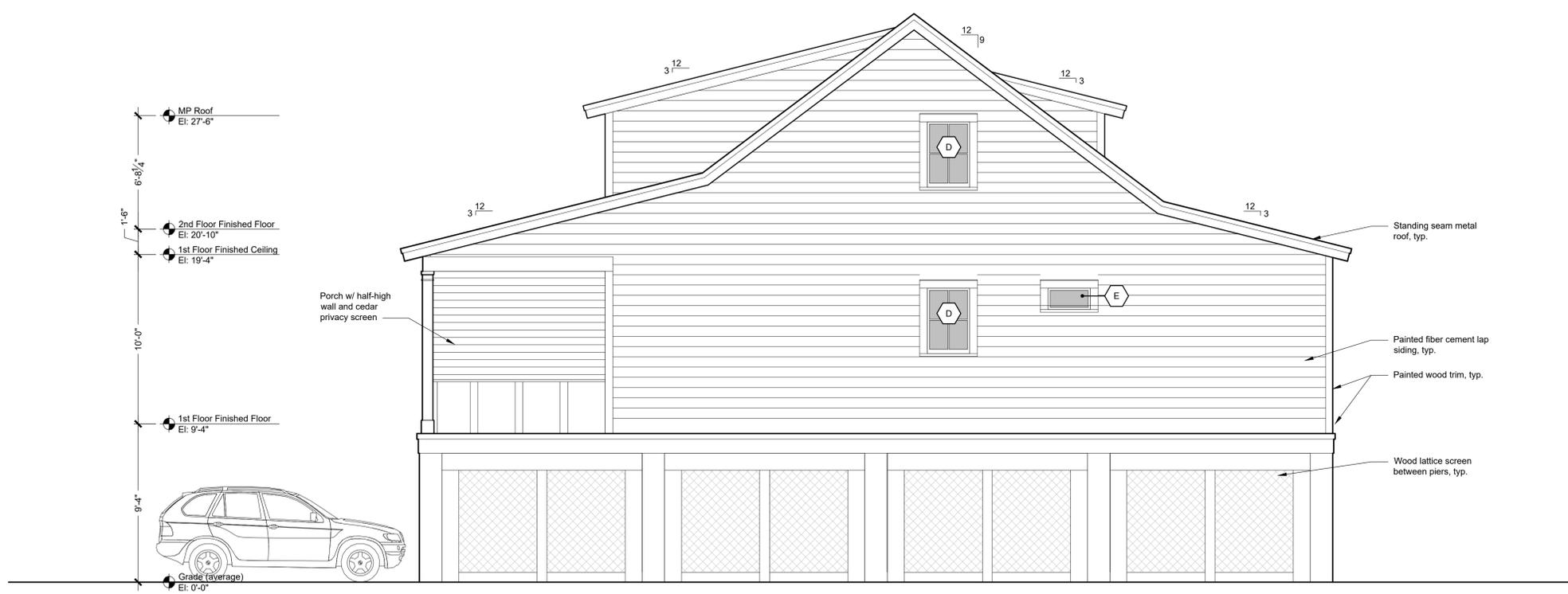
TITLE:
Door & Window Schedules

SHEET:
A-1.5

Preliminary
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1 Exterior Elevation - East (Front)
 A-2.0 scale: 1/4" = 1'-0"



2 Exterior Elevation - North
 A-2.0 scale: 1/4" = 1'-0"

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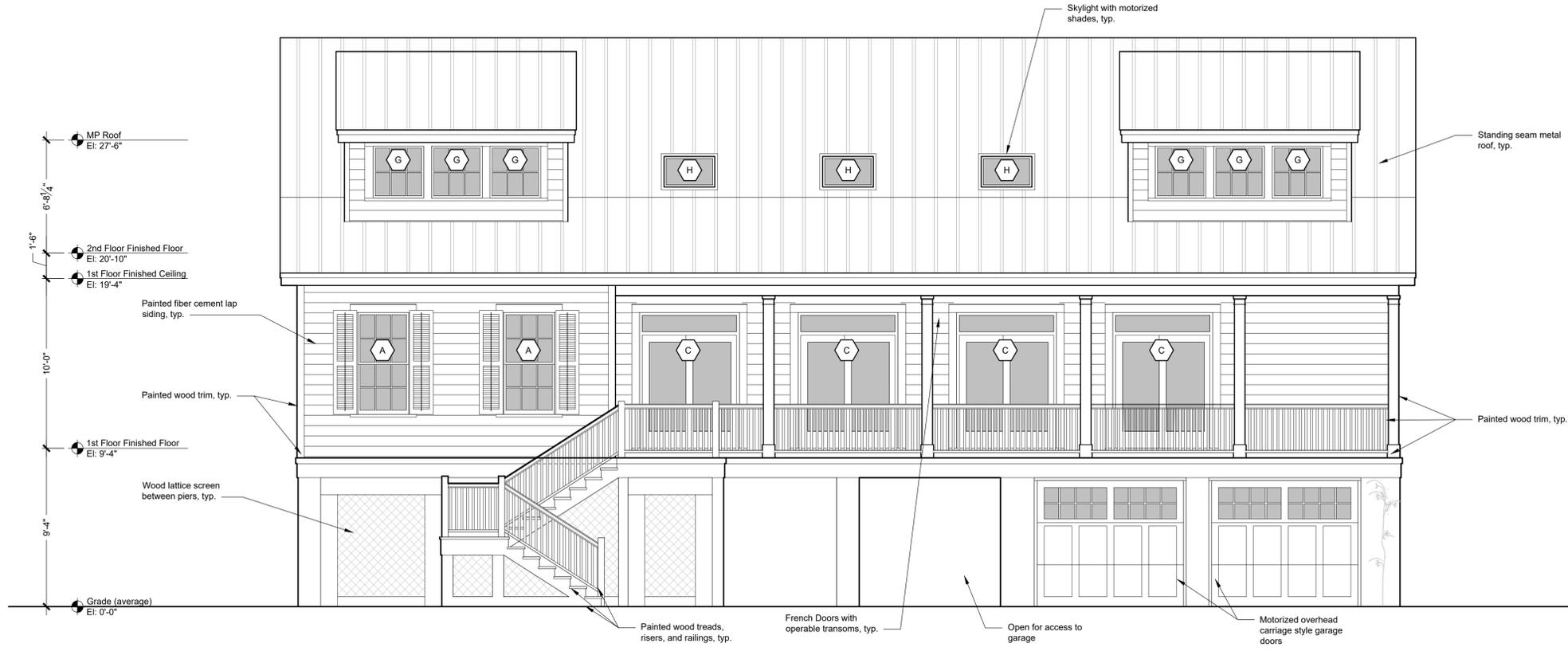
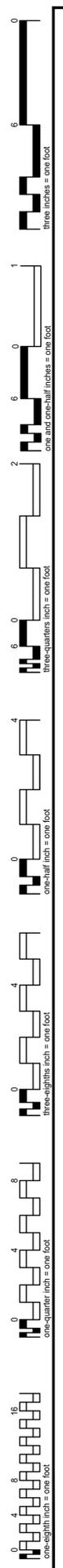
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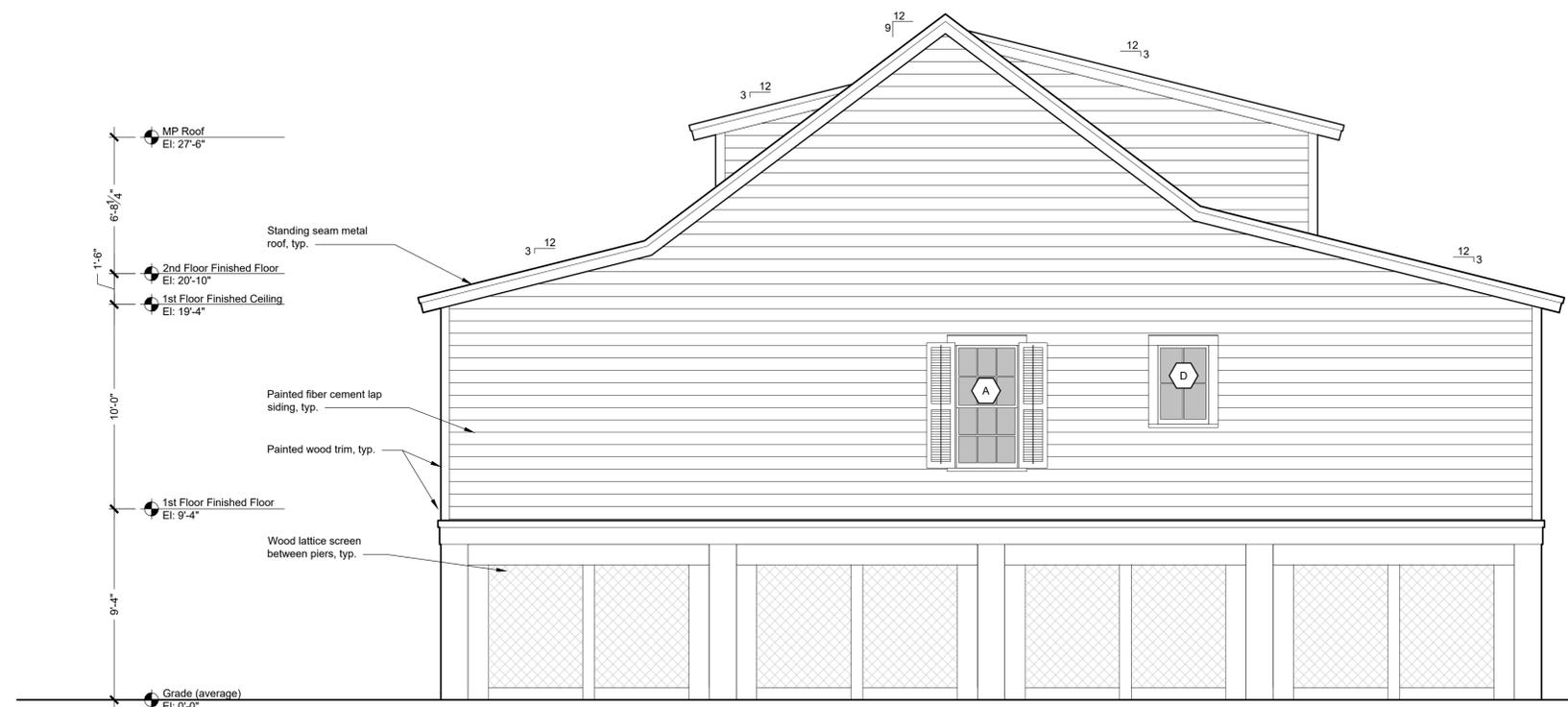
PROJECT NO. AA1747
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 CHECKED BY: RA
 02.02.18 Schematic Design
 04.11.18 Design Drawings

TITLE:
 Exterior Elevations

SHEET:
A-2.0



1 Exterior Elevation - West (Rear)
A-2.1 scale: 1/4" = 1'-0"



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2 Exterior Elevation - South
A-2.1 scale: 1/4" = 1'-0"

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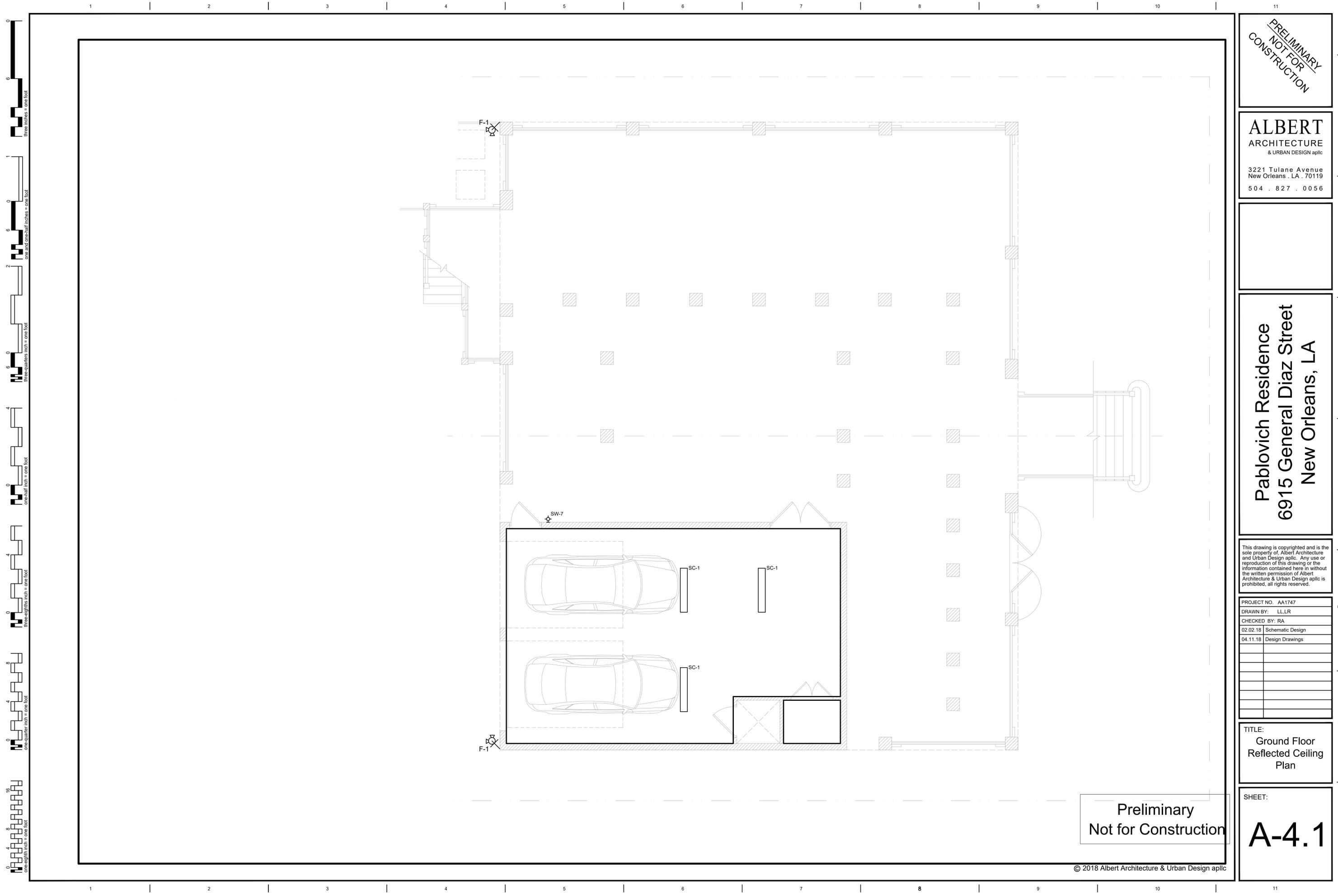
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04.11.18 Design Drawings

TITLE:
Exterior Elevations

SHEET:
A-2.1



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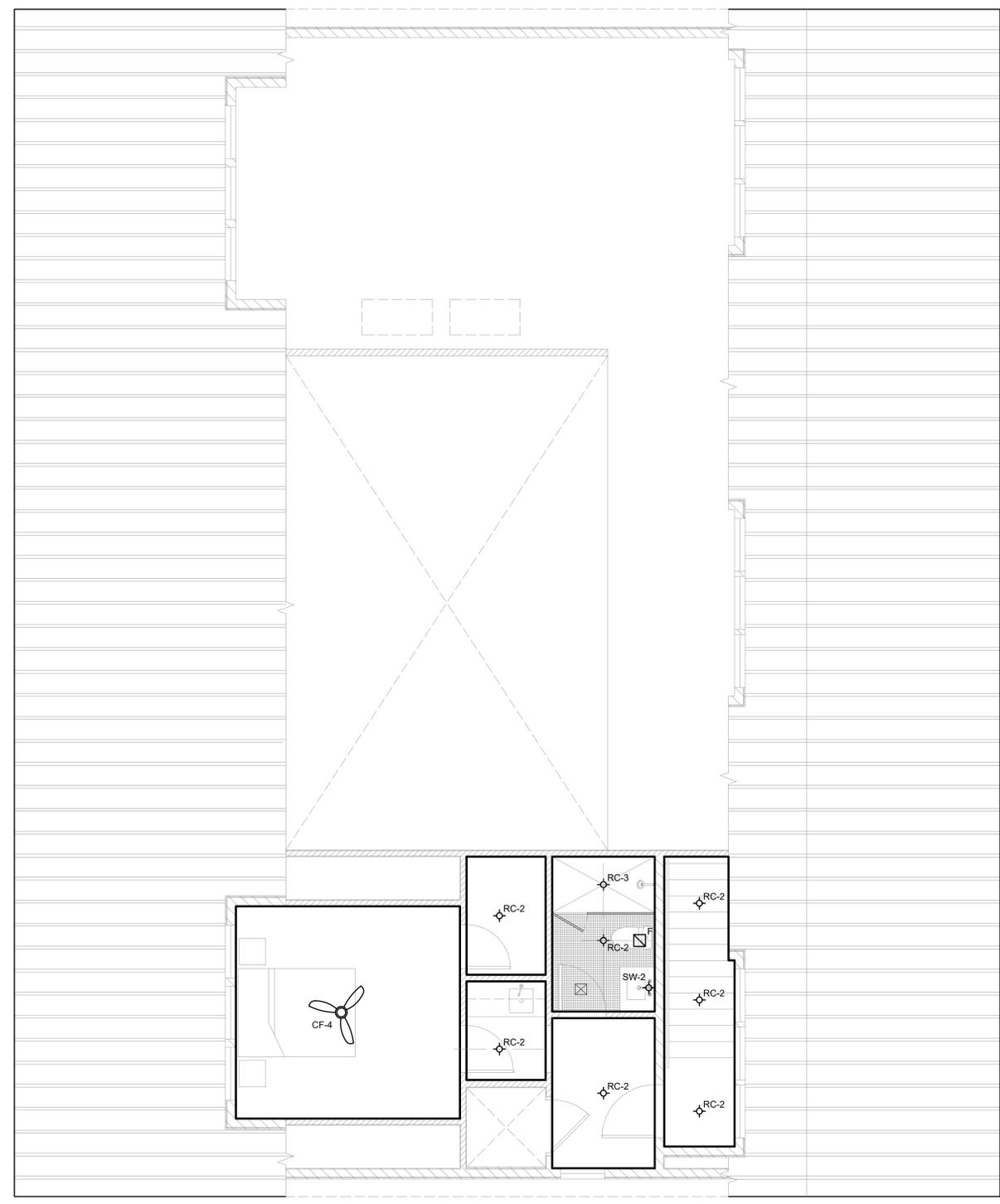
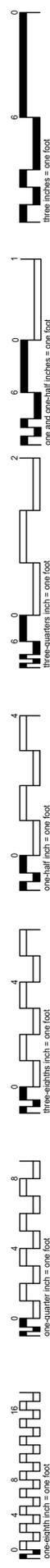
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02.02.18	Schematic Design
04.11.18	Design Drawings

TITLE:
**Ground Floor
Reflected Ceiling
Plan**

SHEET:
A-4.1

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NOTES
Cement Board in Wet Locations

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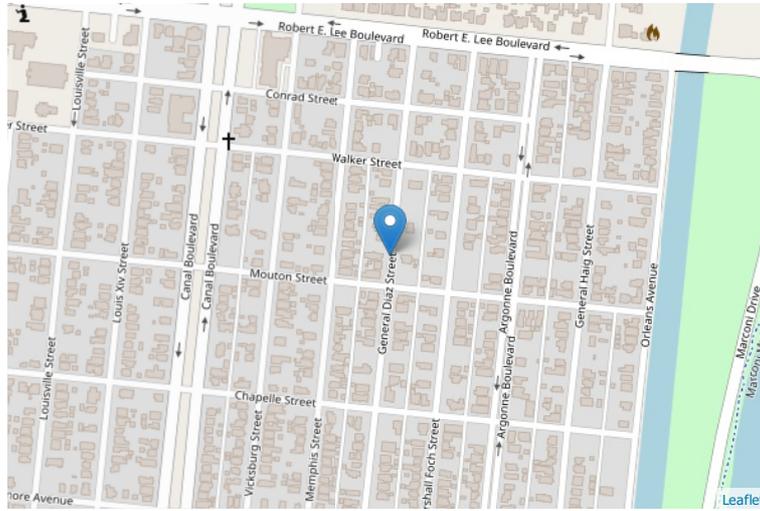
PROJECT NO.	AA1747
DRAWN BY:	LLLR
CHECKED BY:	RA
02.02.18	Schematic Design
04.11.18	Design Drawings

TITLE:
**Second Floor
Reflected Ceiling
Plan**

SHEET:
A-4.3

**Preliminary
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Pay Application Affidavit



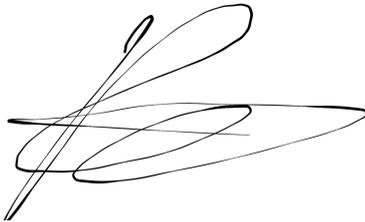
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Coordinates: 30° 0' 57.60486122688"N+90° 6' 12.45706448796"W

Time: 12:04:36 PM CST

Date: Friday, October 12, 2018

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Paul Pablovich

5047231552

aes@aesrequest.com



ASSET EVALUATION SERVICES, LLC

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La# 882304
Broker La # 995685319-CORP
Direct: 504-462-1604
aes@aesrequest.com